

TOWN OF LOS GATOS, CALIFORNIA

North 40



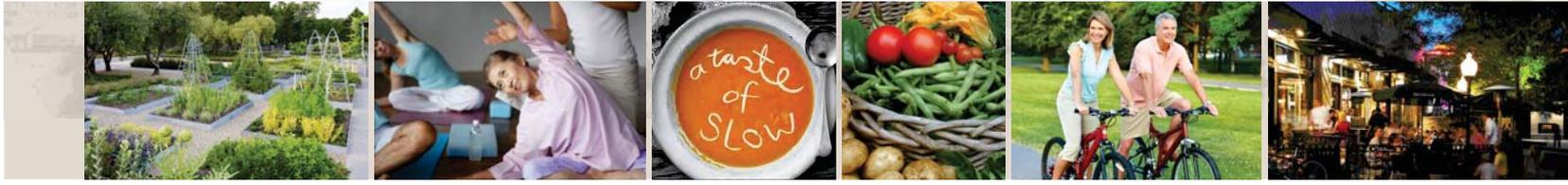
PHASE I
RESIDENTIAL & MIXED-USE NEIGHBORHOOD DEVELOPMENT
ARCHITECTURE AND SITE PLANNING APPLICATION
OCTOBER 14, 2015



THE NORTH 40 CELEBRATING THE LOS GATOS LIFESTYLE

TOWN COUNCIL VISION STATEMENT

The North 40 reflects the special nature of our hometown. It celebrates our history, agricultural heritage, hillside views and small town character. The North 40 is seamlessly woven into the fabric of our community, complementing other Los Gatos residential and business neighborhoods. It is respectful of precious community resources and offers unique attributes that enrich the quality of life of all our residents.



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WALKING TOUR THE NORTH 40 PHASE I

REALIZING THE VISION

After years of working with the Town of Los Gatos, Grosvenor, SummerHill Homes and Eden Housing believe we have captured the essence of the Town Council's Vision Statement and Guiding Principles in an authentic Los Gatos village. Our plan features a mix of housing opportunities tailored to meet the Town's unmet needs for places for young professionals, empty nesters, and seniors to live. The residences are tied together with an open space plan that embraces the site's agricultural history through functioning community gardens and orchard treatments. Finally, the heart of the project comes alive with a specialty market and neighborhood retail where neighbors, friends and families can gather and celebrate the Los Gatos quality of life.

KEEPING THE NEXT GENERATION IN LOS GATOS
CONDOMINIUM CLUSTER
RESIDENTIAL

KEEPING THE NEXT GENERATION IN LOS GATOS
CONDOMINIUM CLUSTER
RESIDENTIAL

EMBRACING THE OUTDOOR LIFESTYLE
CONNECT, GATHER, GROW

LIVE, MEET, RELAX
A DIVERSE AND VIBRANT
NEIGHBORHOOD

KEEPING THE NEXT GENERATION IN LOS GATOS
ROWHOME RESIDENTIAL

KEEPING THE NEXT GENERATION IN LOS GATOS
GARDEN CLUSTER RESIDENTIAL

WALKABLE TRANSITIONS
THE LARK AND TRANSITION
DISTRICTS CONNECT AS ONE

HEART OF THE DISTRICT
SPECIALTY MARKET/ MARKET HALL



HEART OF THE DISTRICT AN INVITING SUGGESTION OF HISTORIC STRUCTURE

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- The two buildings that face Los Gatos Boulevard make notable reference to the site's and to Los Gatos' agricultural root
- The building designs will create a place that feels genuine and that speaks "neighborhood" rather than "project".



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HEART OF THE DISTRICT GROW LOCAL, EAT LOCAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

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REALIZING THE VISION

- A specialty market will provide quality artisan products consistent with the Los Gatos lifestyle
- A shopping experience unlike anything offered in the Town will complement Downtown's boutiques and Los Gatos Boulevard's commercial strip centers, and provide an anchor for North Los Gatos
- Informal gathering spots will offer the opportunity to slow down, meet neighbors and spend time with family

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See landscape drawings for additional information. Trees and plantings shown are for illustrative purposes only. Some proposed landscaping may not be shown in this rendering for clarity.



HEART OF THE DISTRICT SPECIALTY MARKET/ MARKET HALL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
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REALIZING THE VISION

- A walkable neighborhood with cafes, restaurants and personal services will connect the lifestyles of today's empty nesters and young professionals
- Produce, flowers and artisan goods will flow out onto the sidewalks, exhibiting a strong connection to the area's agrarian roots

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LIVE, MEET RELAX NEIGHBORHOOD SERVING RETAIL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
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- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Walkable neighborhood-scale retailers, restaurants and cafes will provide opportunities for residents to meet, socialize and satisfy their needs for everyday goods and services
- Transition District retail will be designed to complement future retail development in the Northern District

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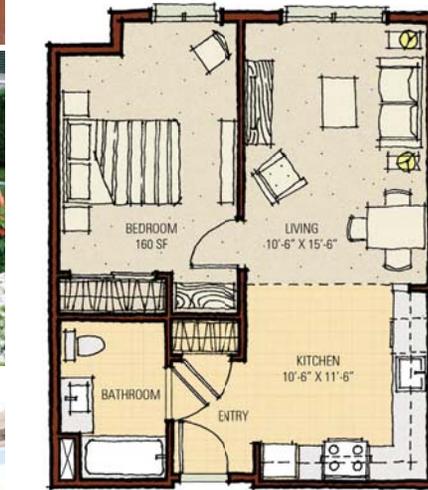
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LIVE, MEET, RELAX A DIVERSE AND VIBRANT NEIGHBORHOOD

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
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REALIZING THE VISION

- Smaller senior affordable apartments will be located alongside high-end condominiums for empty nesters and homes for young professionals, creating a diverse and sustainable neighborhood
- Pedestrian-oriented open spaces, community gardens and plazas will provide additional opportunities for relaxation and activity
- Proximity to goods and services will enhance the attractiveness and financial feasibility of the senior affordable residences

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EMBRACING THE OUTDOOR LIFESTYLE COMMUNITY PARKS & GARDENS

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
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REALIZING THE VISION

- Centralized community gardens to come together, learn, and grow
- Multiple gathering spaces for residents to dine, unwind, and unplug
- Bocce court for interactive fun between neighbors
- Continued orchard treatment and connectivity to paseos

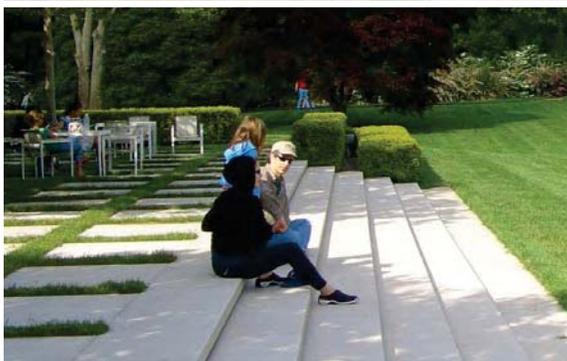
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EMBRACING THE OUTDOOR LIFESTYLE

GRAND PASEO LINKING SOUTH 'A' STREET TO LOS GATOS BOULEVARD

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

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REALIZING THE VISION

- Grand Paseo complete with fire pits, area to lounge, shade sails, and continued orchard treatment
- Interwoven paseos throughout the neighborhoods with orchard trees, intimate gathering spaces, and view corridors
- Dog park and walking trail for our best friend to play in and enjoy

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See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity



EMBRACING THE OUTDOOR LIFESTYLE COMMUNITY PARK & GARDENS

TOWN COUNCIL VISION GUIDING PRINCIPLES

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REALIZING THE VISION

- Mid-block central Community Park with a diverse offering of innovative amenities to attract the "unmet needs" buyer
- Garden plots to be adopted and grown by Lark and Transition District residents
- Continued orchard trees
- Pedestrian and inter-district connectivity through a network of paseos

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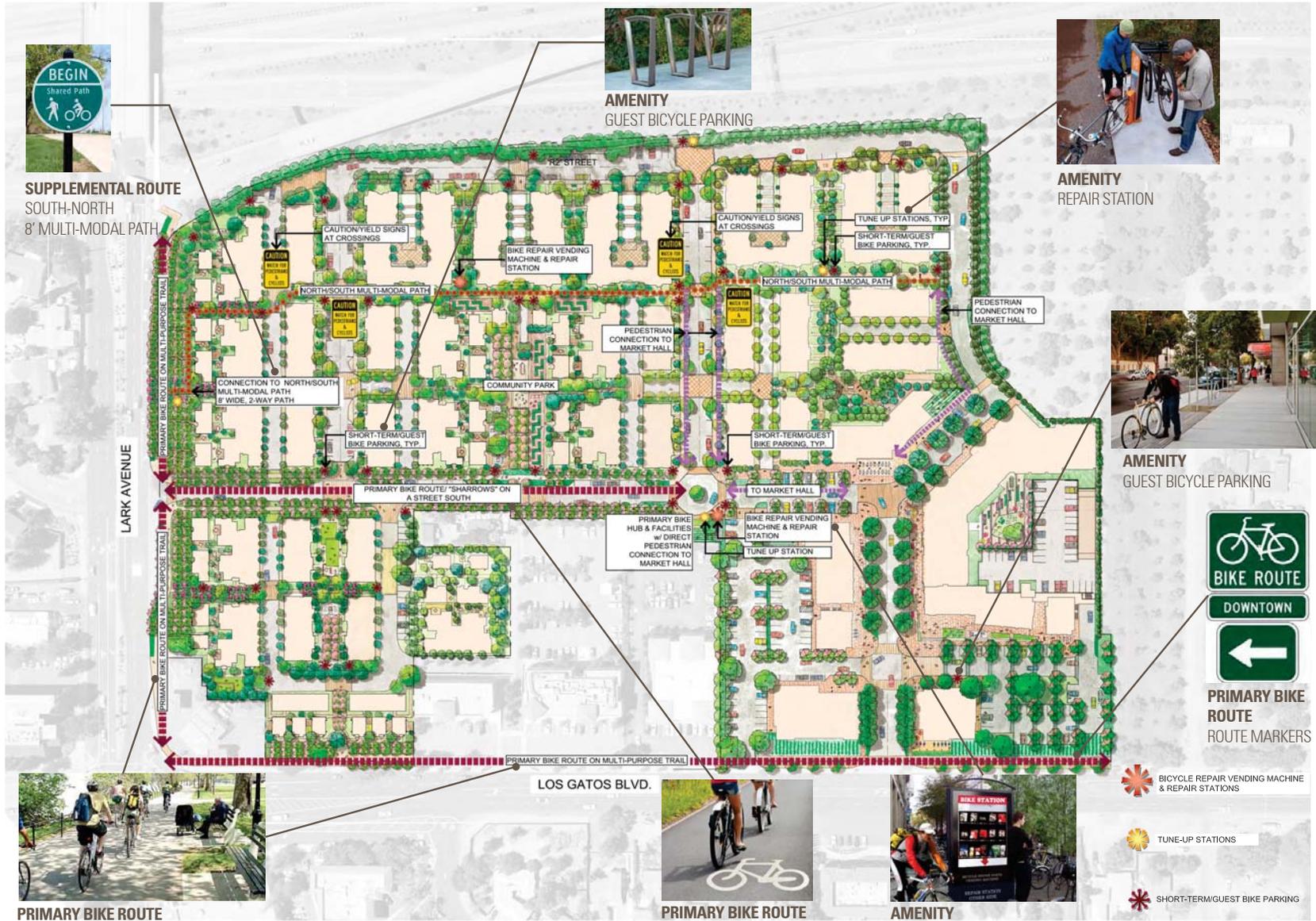
SUPPLEMENTAL ROUTE
SOUTH-NORTH
8' MULTI-MODAL PATH



AMENITY
GUEST BICYCLE PARKING



AMENITY
REPAIR STATION



AMENITY
GUEST BICYCLE PARKING



PRIMARY BIKE ROUTE
ROUTE MARKERS



PRIMARY BIKE ROUTE
8' MULTI-PURPOSE TRAIL



PRIMARY BIKE ROUTE
SHARROWS



AMENITY
REPAIR VENDING MACHINES

- BICYCLE REPAIR VENDING MACHINE & REPAIR STATIONS
- TUNE-UP STATIONS
- SHORT-TERM/GUEST BIKE PARKING

EMBRACING THE OUTDOOR LIFESTYLE BIKE PATHS & BICYCLE AMENITIES

TOWN COUNCIL VISION GUIDING PRINCIPLES

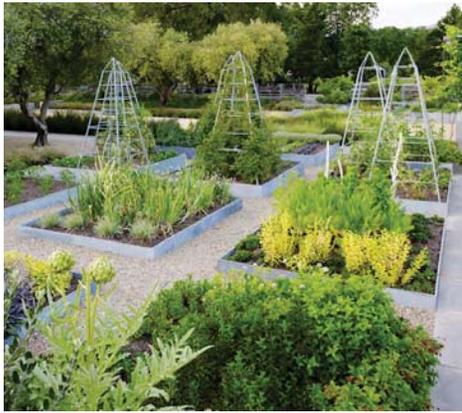
- The North 40 will
- Look and feel like Los Gatos
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REALIZING THE VISION

- Primary Bike Routes along Lark, Los Gatos Boulevard and A Street
- 8' wide detached South-North Multi-Modal Path that connects the distinctive and complimentary open spaces throughout the community
- Unique bicycle amenities including repair vending machines, repair stations, tune up stations and abundant bicycle parking

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WALKABLE TRANSITIONS THE LARK & TRANSITION DISTRICTS CONNECT AS ONE



See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

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REALIZING THE VISION

- An inviting and warm pedestrian and vehicular corridor that joins the existing and new
- A walkable neighborhood street that seamlessly connects the districts
- A tapestry of residential offerings to meet the unmet needs of the town woven together with paseos, and common landscape treatments
- Moving from the lower intensity residential Lark District to a range of uses including Lark District, neighborhood-serving stores, and a specialty market

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See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

KEEPING THE NEXT GENERATION IN LOS GATOS GARDEN CLUSTER RESIDENTIAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
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REALIZING THE VISION

- Homes with media spaces and rooms, open floor plans, loft living, large screen walls for gaming or viewing
- Access to terraces and creative outdoor space (on select plans) that provide room for Fido and Spot
- Large windows to maximize interior light and elevations, and variety of roof pitches for exterior diversity

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See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

KEEPING THE NEXT GENERATION IN LOS GATOS ROWHOME RESIDENTIAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Satisfying the unmet needs buyer: Work from Home, Play from Home with home offices and gaming/ media rooms.
- Floor plans that bring the fantastic Los Gatos weather inside with gracious level terraces

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See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity.



KEEPING THE NEXT GENERATION IN LOS GATOS CONDOMINIUM CLUSTER RESIDENTIAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Exterior design and finishes that complement the project's agrarian open spaces
- Inspired interior floor plans including open plan flats and bright and fun spaces
- First floor porches and second level terraces to relax and grill with friends

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Phase I
Illustrative Site Plan



SWA San Francisco



Neighborhood Serving Retail



Outdoor Food Culture



Agricultural Heritage



Pedestrian Environment



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Transition District
Illustrative Site Plan

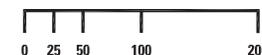


SWA San Francisco



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2.1

Chef's Garden



Modern Agriculture



Heritage Trees



Demonstration Vineyard



Winter Color in Vineyards



Garden Court



Outdoor Dining



Outdoor Vendors



Orchard Parking



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Transition District
Area A and B Landscape Plan

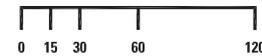


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2.2

Outdoor Lounge



Garden Retreat



Note: Refer to sheets 5.RH.1 – 5.ST.14 for Transition District Area D building architectural information



Outdoor Dining



Harvest Garden



Garden Amenities



OUTDOOR LOUNGES EXTENSION OF PRIVATE LIVING SPACE



RESERVE OUTDOOR ROOMS



LOUNGE SEATING



GARDEN PARTY SPACES



RESERVE "PRIVATE" DINING AREAS



MOVIE WALL



LOW SCREEN FENCES & LOUNGE WALLS



COURTYARD PLAZAS MULTI-PURPOSE OPEN AIR SPACES



POP-UP VENDORS



OPEN AIR CAFE SEATING



FLEXIBLE PUBLIC GATHERING SPACES



SCREEN TREES & ON-GRADE DECKING



SEAT WALLS & DOWN LIGHTS

NORTH FORTY

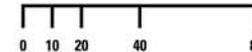
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Transition District
Courtyard Plaza Enlargement Plan



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BUFFER TREES



Quercus agrifolia
Coast Live Oak
Initial size: 60" box
Mature size:
20'-70' high x 20'-70' wide



Sequoia sempervirens
Coast Redwood
Initial size: 60" box
Mature size:
70'-90' high x 15'-30' wide



Pinus radiata
Monterey pine
Initial size: 48" box
Mature size:
80'-100' high x 25'-35' wide

STREET TREES



Pistacia chinensis
Chinese pistachio
Initial size: 48" box
Mature size:
30'-60' high x 30'-60' wide



Liquidambar styraciflua
Sweet gum
Initial size: 48" box
Mature size:
70'-90' high x 15'-30' wide



Platanus acerifolia
London Plane Tree
Initial size: 48" box
Mature size:
40'-80' high x 30'-40' wide



Zelkova serrata
Sawleaf zelkova
Initial size: 48" box
Mature size:
60' high x 60' wide



Aesculus californica
California buckeye
Initial size: 48" box
Mature size:
10'-20+ high x 30+ wide



Olea europaea
Olive tree
Initial size: 24" box
Mature size:
20'-30' high x 20'-30' wide

SPECIMEN TREES



Koeleruteria paniculata
Goldenrain tree
Initial size: 48" box
Mature size:
20'-35' high x 25'-40' wide



Cercidiphyllum japonicum
Katsura tree
Initial size: 48" box
Mature size:
40' high x 25' wide



Ginkgo biloba
Maiden hair tree
Initial size: 48" box
Mature size:
50'-60' high x 20'-25' wide



Quercus agrifolia
Coast Live Oak
Initial size: 60" box
Mature size:
20'-70' high x 20'-70' wide



Lagerstroemia spp.
Crape myrtle
Initial size: 48" box
Mature size:
15'-25' high x 20'-25' wide

COURTYARD TREES



Acer palmatum
Japanese maple
Initial size: 24" box
Mature size:
20' high x 20' wide



Cupressus sempervirens
Mediterranean cypress
Initial size: 24" box
Mature size:
40'-60' high x 10' wide



Cercis occidentalis
Western redbud
Initial size: 24" box
Mature size:
10'-18' high x 10'-18' wide



Betula nigra
River birch
Initial size: 36" box
Mature size:
50'-70' high x 20'-70' wide



Pittosporum undulatum
Victorian box
Initial size: 36" box
Mature size:
30'-40' high x 30'-40' wide

FLOWERING + FRUITING TREES



Pyrus calleryana
Callery pear
Initial size: 36" box
Mature size:
40' high x 25' wide



Prunus bireana
Purple leaf plum
Initial size: 36" box
Mature size:
40' high x 25' wide



Malus floribunda "Paris"
Pink Crabapple
Initial size: 36" box
Mature size:
12'-20' high x 12'-20' wide



Prunus salicina
Japanese plum
Initial size: 36" box
Mature size:
12'-18' high x 10'-18' wide



Malus 'prariefire'
Crabapple
Initial size: 36" box
Mature size:
20' high x 15' wide

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LOS GATOS, CA

Transition District
Planting Palette



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2.5

FOUNDATION SHRUBS



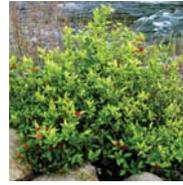
Heteromeles arbutifolia
Toyon bush
Initial size: 5 gallon
Mature size: 12' high x 8' wide
Drought tolerant
California Native



Buddleia spp.
Butterfly bush
Initial size: 5 gallon
Mature size: 6'-12' high x 6'-12' wide
Drought tolerant



Camellia japonica
Camellia
Initial size: 5 gallon
Mature size: 6'-12' high x 6'-12' wide



Calycanthus occidentalis
Spicebush
Initial size: 5 gallon
Mature size: 3'-10' high x 3'-20" wide
Drought tolerant
California Native



Azalea indica 'Formosa'
Formosa azalea
Initial size: 5 gallon
Mature size: 6'-10' high x 6'-10' wide
Drought tolerant



Pittosporum tobira
Mock orange
Initial size: 5 gallon
Mature size: 3' high x 5' wide
Drought tolerant

FOUNDATION SHRUBS



Myrica californica
Pacific wax myrtle
Initial size: 5 gallon
Mature size: 15' high x 8' wide
Drought tolerant
California Native



Arctostaphylos densiflora 'McMinn'
Manzanita 'McMinn'
Initial size: 5 gallon
Mature size: 7'-10' high x 7'-10' wide
Drought tolerant
California Native

BIOSWALE



Carex pansa
California meadow sedge
Initial size: 1 gallon
Mature size: 8" high
Drought tolerant



Iris douglasiana
Pacific coast iris
Initial size: 1 gallon
Mature size: 10"-30" high
Drought tolerant
California Native



Festuca rubra
Creeping red fescue
Initial size: 1 gallon
Mature size: 8" high
Drought tolerant

FOREGROUND SHRUBS



Lavandula spp.
Lavender
Initial size: 1 gallon
Mature size: 1'-5' high
Drought tolerant



Salvia clevelandii
Cleveland sage
Initial size: 1 gallon
Mature size: 2'-5' high
Drought tolerant
California Native



Cistus x hybridus
White rockrose
Initial size: 1 gallon
Mature size: 2'-3' high
Drought tolerant



Erigeron glaucus
Beach aster
Initial size: 1 gallon
Mature size: 1' high
Drought tolerant



Dryopteris
Wood fern
Initial size: 1 gallon
Mature size: 18"-36" high

PROSTRATE SHRUBS and GROUNDCOVERS



Arctostaphylos uva-ursi 'Emerald Carpet'
Manzanita 'Emerald Carpet'
Initial size: 1 gallon
Mature size: 1' high
Drought tolerant
California Native



Ceanothus hearstiorum
Ceanothus
Initial size: 1 gallon
Mature size: 6" high
Drought tolerant
California Native



Fragaria chiloensis
Strawberry
Initial size: 1 gallon
Mature size: 6" high
Drought tolerant



Rosmarinus officinalis 'Prostratus'
Prostrate Rosemary
Initial size: 1 gallon
Mature size: 1'-3' high
Drought tolerant



Sinapis alba
White mustard
Initial size: 1 gallon
Mature size: 1'-1.5' high

GRASSES



Muhlenbergia rigens
Deergrass
Initial size: 1 gallon
Mature size: up to 5' high
Drought tolerant
California Native



Nassella tenuissima
Mexican feather grass
Initial size: 1 gallon
Mature size: 1'-3' high
Drought tolerant



Carex pansa
California meadow sedge
Initial size: 1 gallon
Mature size: 8" high
Drought tolerant



Sod
Mature size: 4" high

VINEYARD



Vitis vinifera
Common grape vine
Initial size: 5 gallon
Mature size: up to 8'

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Transition District
Planting Palette

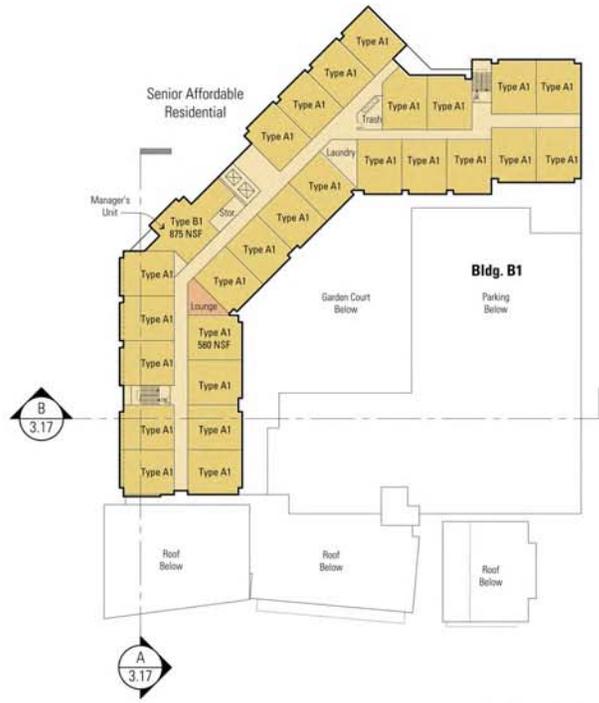


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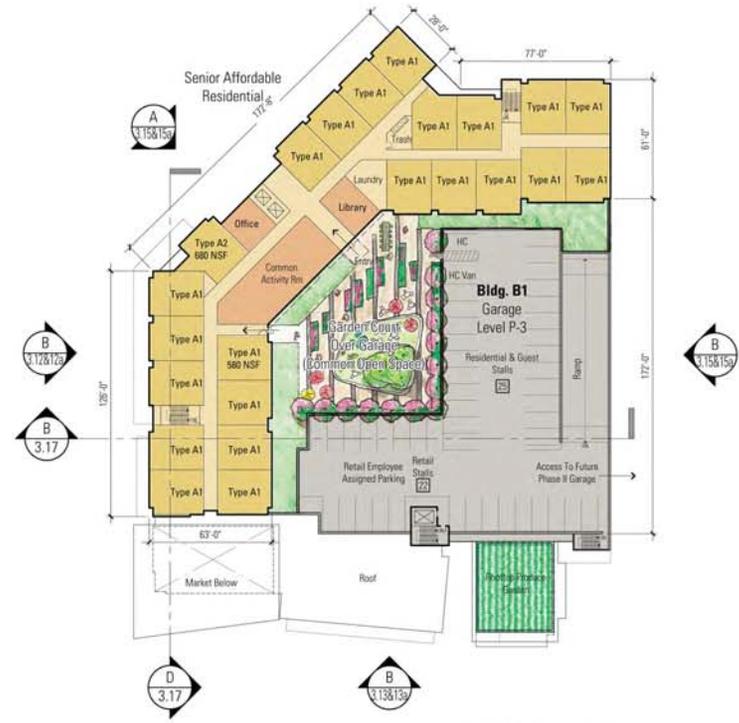
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2.6



Building B1
Fourth Floor Plan
FF = + 327.9'



Building B1
Third Floor Plan
FF = + 317.6'

Note:
For Unit Plans
see 

- Legend**
-  Residential Circulation & Support
 -  Commercial Leaseable
 -  Commercial Circulation & Support
 -  Residential Units
 -  Residential Amenity
 -  Garage

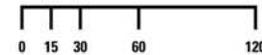
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3.7

Transition District
Floor Plans Area B



**Building C1
First Floor Plan**

Legend

- Residential
Circulation & Support
- Commercial
Leasable
- Commercial
Circulation & Support
- Residential
Units
- Residential
Amenity
- Garage

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**Transition District
Floor Plans Area C**

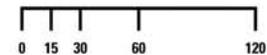


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3.8



Elevation 'A' - 'C2' Street looking East
 For building heights, see 



Elevation 'B' - 'C2' Street looking West
 For building heights, see 

Transition District

Illustrative Exterior Elevations - 'C2' Street

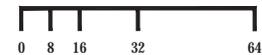
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Materials Legend

- Materials are denoted on the primary elevation of each building; additional materials are denoted if necessary on subsequent elevations; similarly rendered materials are the same as those previously denoted on the primary elevation
- ① Plaster: light and dark sand finish
 - ② Plaster: texture A, B or C
 - ③ Plaster: basalt-toned finish
 - ④w Siding: wood-grained sustainable composite, walnut-toned
 - ④r Siding: wood-grained sustainable composite, redwood-toned
 - ⑤ Siding: reclaimed wood
 - ⑥h Siding: horizontal lap, painted
 - ⑥v Siding: vertical, painted
 - ⑦ Heavy Timber
 - ⑧ Stone: sandstone-toned, rustic finish
 - ⑨ Brick: basalt-toned
 - ⑩ Brick: light-toned
 - ⑪ Sunshades and canopies: metal
 - ⑫ Sunshades, vertical panel: metal and wood-grained sustainable composite
 - ⑬ Sunshades, horizontal: wood-grained sustainable composite
 - ⑭ Railing: wood-grained sustainable composite
 - ⑮ Railing: clear glass
 - ⑯ Railing: metal
 - ⑰ Windows: toned vinyl
 - ⑱ Windows: aluminum, medium or dark bronze
 - ⑲ Storefront: aluminum, medium or dark bronze
 - ⑳ Storefront: custom by tenant
 - ㉑ Garage/Loading Dock door: coiling with decorative pattern
 - ㉒ Roofing: standing seam, non-reflective metal, light-toned
 - ㉓ Roofing: standing seam, non-reflective metal, dark-toned
 - ㉔ Green screen panels: metal support for planting, to be removed when garage is expanded in Phase II
 - ㉕ Sound wall: 14' high precast textured concrete
 - ㉖ Concrete: cast-in-place
 - ㉗ Board-formed stained concrete



Elevation 'A' - North 'A' Street Looking Northeast
 For building heights, see



Elevation 'B' - Phase I Property Line looking South
 For building heights, see

NORTH FORTY

LOS GATOS, CA

Illustrative Exterior Elevations - Additional Market and Senior Affordable Residential Facades

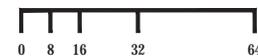


BARarchitects



09039

10.14.15





Elevation 'A' - South 'A' Street looking West
For building heights, see 



Elevation 'C' - 'R2' Paseo looking North
For building heights, see 



Elevation 'B' - 'North A' Street looking West
For building heights, see 

Transition District

NORTH FORTY

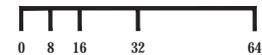
LOS GATOS, CA

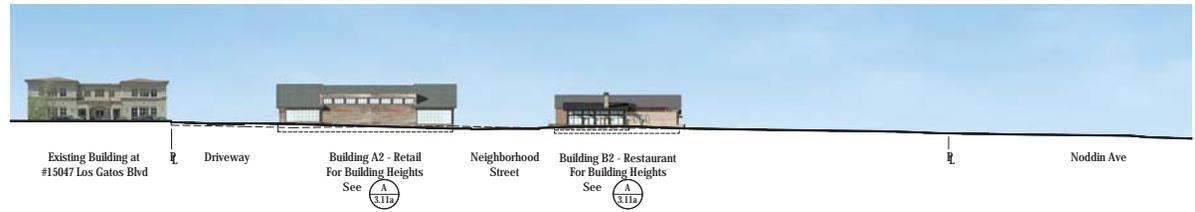
Illustrative Exterior Elevations - Residential and Restaurant Facades



09039

10.14.15





Elevation 'A' - Los Gatos Boulevard looking West



Elevation 'B' - Neighborhood Street looking South

NORTH FORTY

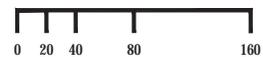
LOS GATOS, CA

Transition District
Technical Streetscape and Context Site Elevations

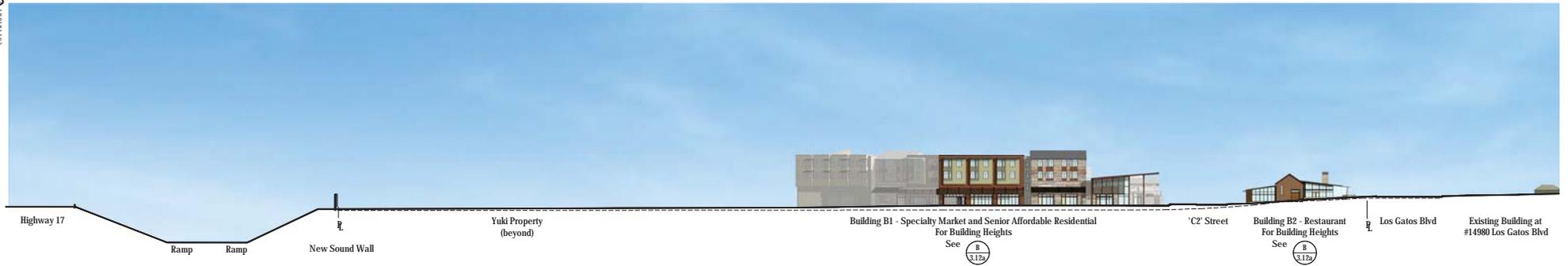


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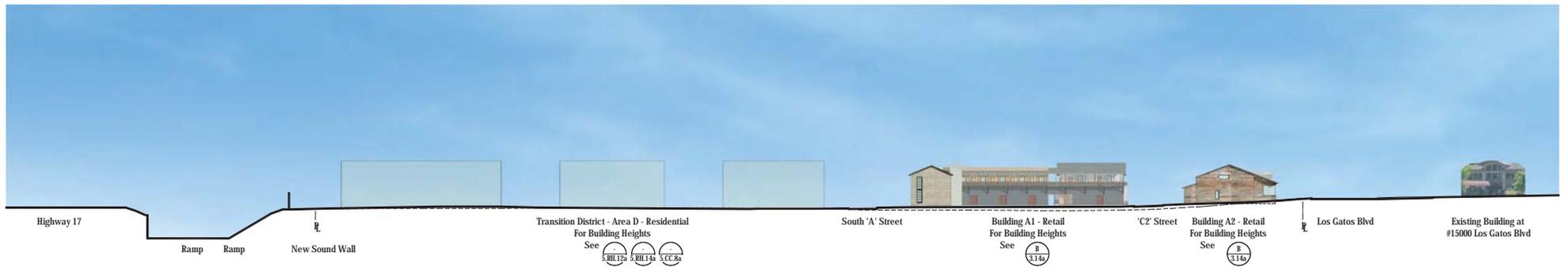
10.14.15



FILE NAME: Z:\2018\LOS GATOS NORTH FORTY\DRAWINGS\4-CAD\CURRENT\PLAT FILES\ANATED\SITE ELEVATIONS\DWG\1740 - 3024\1740 - 3024.dwg | DATE: 10/14/15 | PROJECT: NORTH FORTY | DRAWING: 1740 - 3024.dwg | SCALE: 1/8" = 1'-0" | SHEET: 3.9a | TOTAL SHEETS: 4 | PROJECT LOCATION: LOS GATOS, CA | CLIENT: GROSVENOR | ARCHITECT: BAR ARCHITECTS | 1740 - 3024.dwg | 10/14/15 | 3.9a



Elevation 'A' - Neighborhood Street looking North

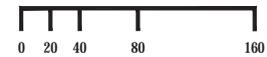


Elevation 'B' - 'R2' Street looking North

NORTH FORTY

LOS GATOS, CA

Transition District
Technical Streetscape and Context Site Elevations





Elevation 'A' - South 'A' Street looking East



Elevation 'B' - Retail Parking Lot looking North

Rooftop mechanical equipment and enclosures, which are permitted above the maximum height indicated, are not depicted

NORTH FORTY

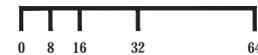
LOS GATOS, CA

Transition District
Technical Exterior Elevations - Additional Retail Facades



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3.14a



Elevation 'A' - North 'A' Street Looking Northeast



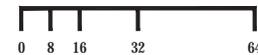
Elevation 'B' - Phase I Property Line looking South

Rooftop mechanical equipment and enclosures, which are permitted above the maximum height indicated, are not depicted

NORTH FORTY

LOS GATOS, CA

Technical Exterior Elevations - Additional Market and Senior Affordable Residential Facades



DETAILED RESIDENTIAL TABULATIONS - TRANSITION DISTRICT (AREA A, B, C) 10/12/2015

RESIDENTIAL UNIT AND PRIVATE OPEN SPACE AREA TABULATIONS							
Residential** (Building A1)	Net Unit Area (SF)	1st Floor	2nd Floor	3rd Floor	4th Floor	Subtotal Number of Units	Subtotal Net Unit Area (SF)
Unit Type C1 - 2BR, 2.5 Bath+Flex Space							
Private Open Space	Area (SF)		255				
	No. of Occurances		2				
Net Unit Area (SF) & No. of Occurances	960		2			2	1,920
Unit Type D1 - 1BR, 1 Bath							
Private Open Space	Area (SF)		0				
	No. of Occurances		0				
Net Unit Area (SF) & No. of Occurances	730		3			3	2,190
Unit Type E1 - 1BR, 1 Bath							
Private Open Space	Area (SF)		0				
	No. of Occurances		0				
Net Unit Area (SF) & No. of Occurances	720		1			1	720
Unit Type F1 - 2 BR, 1.5 Bath, Den							
Private Open Space	Area (SF)		0				
	No. of Occurances		0				
Net Unit Area (SF) & No. of Occurances	1,100		1			1	1,100
Unit Type G1 - 2 BR, 2 Bath							
Private Open Space	Area (SF)		185				
	No. of Occurances		1				
Net Unit Area (SF) & No. of Occurances	970		1			1	970
Unit Type H1 - LIVENWORK LOFT	2 BR, 2 Bath, Flex Space						
Private Open Space	Area (SF)		78	109			
	No. of Occurances		2	2			
Net Unit Area (SF) & No. of Occurances	1,075		2			2	2,150
Residential Total			0	10	0	0	10
Private Open Space Total	Area (SF)		***	913	0	0	913
Total Net Unit Area (SF)			***	9,050	0	0	9,050

RESIDENTIAL UNIT AREA TABULATIONS							
Senior Affordable* (Building B1)	Net Unit Area (SF)	1st Floor	2nd Floor	3rd Floor	4th Floor	Subtotal Number of Units	Subtotal Net Unit Area (SF)
Unit Type A1 - 1BR, 1 Bath	580			22	26	48	27,840
Unit Type A2 - 1BR, 1 Bath	680			1		1	680
Unit Type B1 - 2BR, 1 Bath (Manager)	875				1	1	875
Senior Affordable Total		0	0	23	27	50	
Total Net Unit Area (SF)		0	0	13,440	15,955		29,395

* Note:
Private Open Space is not typically provided at Senior Affordable by Eden Housing; Common and Public Open Space will be provided instead; for

	1 Bedroom Unit	2 Bedroom Unit	Total Units	Total Area
Residential (Building A1)	6	4	10	
Senior Affordable (Building B1)	49	1	50	
TRANSITION DISTRICT TOTAL	55	5	60	38,445

(2) of the 2 Bedroom Units in Building A1 are Live/Work Lofts.

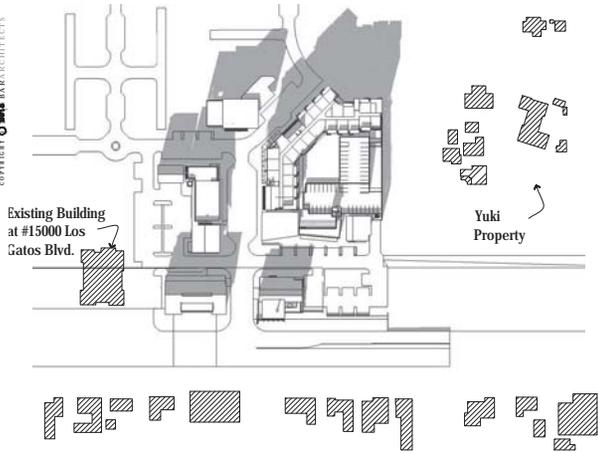
** Notes:
For additional information on patio and deck sizes at Residential, see Floor Plans on Sheet 3.5 and 3.7, and Unit Plans on Sheets 3.18 to 3.21; for additional Open Space tabulations see Sheets 6.4 and 6.5

*** Notes:
Unit H1 are loft units that have 2 levels, the 2nd floor is the total unit area, Open Space Area and Quantities.
For partial 1st floor tabulation - 524 NSF per unit on lower level x 2 units = 1048 NSF
For partial 1st floor Open Space- 78 SF per unit on lower level x 2 units = 156 SF

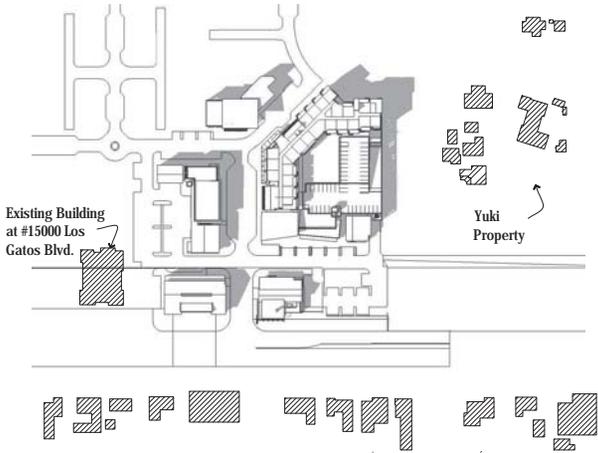
NORTH FORTY | LOS GATOS, CA

**Transition District
Detailed Residential Tabulations**

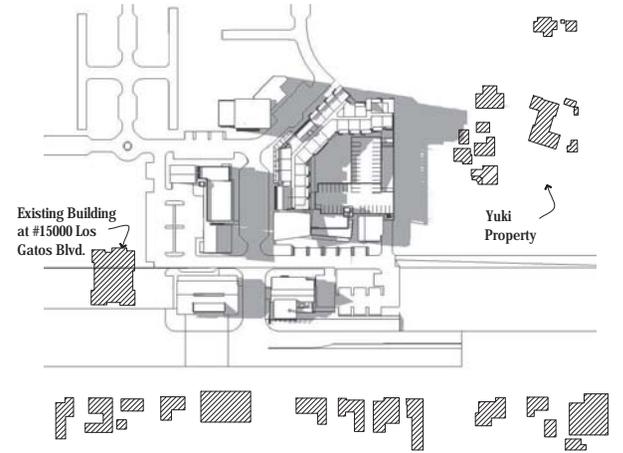




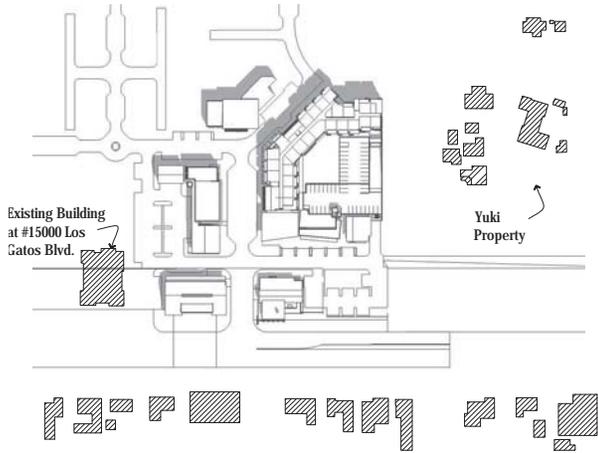
Winter Solstice
December 21, 9am



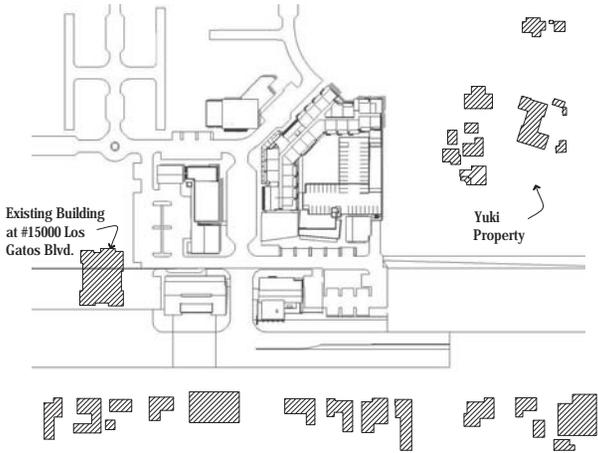
Winter Solstice
December 21, noon



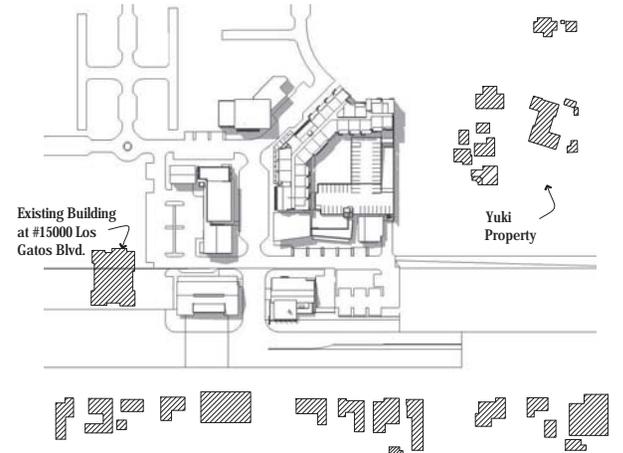
Winter Solstice
December 21, 3pm



Summer Solstice
June 21, 9am



Summer Solstice
June 21, noon



Summer Solstice
June 21, 3pm

NORTH FORTY

LOS GATOS, CA

Transition District
Solar Access Shadow Study



Garden Lanes



Walkable Neighborhood



Orchard Street



Community Gardens



Pedestrian Environment





Orchard Street

Resting Spaces

A-Street Landscape Plan



Walkable Community



Los Gatos Blvd. Landscape Plan



Orchard Frontage



Turf Block





Orchard Buffer



Multi-Use Trail



Rustic Materials

Garden Planting



Modern Agrarian Landscape



Country Landscape



Pedestrian Connectivity

APPENDIX 07 2011 - 100 North Forty Community Park

PLAY / LOUNGE / UNPLUG



BOCCIE COURT w/ SHADE ARBORS & TRELLISES



HAMMOCKS AND BENCHES UNDER ORCHARD TREES



SUNKEN FIREPIT LOUNGE



CAFE SEATING



GROW / GATHER / DINE



COMMUNITY GARDENS



OUTDOOR GRILL



COMMUNAL DINING



WiFi LOUNGE w/ BAR & GRILL



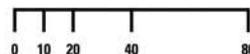
WiFi LOUNGE w/ OUTDOOR FIREPLACE



ORCHARD TREES



FRUITING ESPALIER



INTEGRATING NATURAL ELEMENTS EARTH / FIRE / WATER



SHADE SAILS



LINEAR WATER FEATURE



FIRE PIT LOUNGE



TERRACED PLANTING & STEPPED LAWN AREA



STROLL / PAUSE / MEET



LAWN w/ WIDE SEAT STEPS



OPEN LAWN AREA



GARDEN COURTS ALONG PATHWAYS



ORCHARD TREES ON DECOMPOSED GRANITE w/ BENCHES AND WIDE SEAT STEPS



TERRACED PLANTING AND LAWN AREAS WITH SHADE TREES



SEATWALLS AND STAIR CONNECTION TO GRAND PASEO



COURTYARDS AND SIDEYARDS





MULTI-TEXTURED PAVING WITH COLOR AND SCORING VARIATION
CONCRETE PAVERS & LARGE CANOPY TREES AT ALL PEDESTRIAN
CROSSINGS



WALKING TRAIL



DOG WALKING TRAIL AMENITIES



DOG WALKING TRAIL INFORMATION KIOSK



DIRECTIONAL SIGNAGE



WALKING TRAIL



BENCHES



BAG AND TRASH STATIONS



WATERING STATIONS



SHARED PATHWAY SIGNAGE



NORTH-SOUTH MULTI-MODAL PATH



PRIMARY BIKE ROUTE SHARROWS



ROUTE MARKERS & WAY FINDING SIGNAGE



BIKE AMENITIES



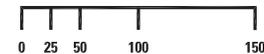
BIKE REPAIR VENDING MACHINE & REPAIR STATIONS



TUNE-UP STATIONS



SHORT-TERM/GUEST BIKE PARKING



COMMON OPEN SPACE TREES:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
Acer palmatum 'Sango Kaku'	Coral Bark Maple	15 gal	16' x 14'	Pyrus calleryana	Ornamental Pear	15 gal	30' x 15'
Arbutus x 'Martha'	Arbutus Standard	15 gal	22' x 22'	Tilia cordata	Littleleaf Linden	15 gal	30' x 15'
Cercidiphyllum japonicum	Katsura Tree	24" box	35' x 25'	Sequoia sempervirens	Coast Redwood	24" box	70' x 25'-30'
Cercis occidentalis	Western Redbud	15 gal	15' x 15'	Zelkova serrata	Sawleaf Zelkova	24" box	42' x 32'
Ginkgo biloba	Maifenhahn Tree	24" box	35' x 25'	Zelkova serrata 'Mussashino'	Columnar Zelkova	15 gal	30' x 15'
Lagerstroemia spp.	Crape Myrtle	24" box	15'-25' x 15'-25'				
Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	15 gal	20' x 10'				
Magnolia stellata 'Royal Star'	Royal Star Magnolia	15 gal	10' x 12'				
Plataea chinensis	Chinese Platane	24" box	35' x 30'				
Platanus x acerifolia 'Yarwood'	London Plane Tree	24" box	40' x 30'				
Prunus s. 'Amanogawa'	Columnar Flowering Cherry	15 gal	25' x 12'				
Prunus x yedoensis 'Akebono'	Flowering Cherry	15 gal	22' x 22'				



Cercidiphyllum japonicum



Plataea chinensis



Lagerstroemia spp.



Platanus x acerifolia



Prunus x yedoensis

ORCHARD TREES:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
Malus x 'Fuji'	Fuji Apple	15 gal	22' x 20'
Malus x 'Granny Smith'	Granny Smith Apple	15 gal	22' x 22'
Prunus armeniaca 'Moorpark'	Moorpark Apricot	15 gal	20' x 22'
Prunus avium 'Bing'	Bing Cherry	15 gal	20' x 20'
Prunus avium 'Rahler'	Rahler Cherry	15 gal	20' x 20'
Prunus domestica 'French Prune'	European Plum	15 gal	22' x 24'
Prunus dulcis 'All In One'	Almond	15 gal	20' x 18'
Prunus persica 'Red Baron'	Red Baron Peach	15 gal	20' x 22'
Pyrus communis 'Bartlett'	Bartlett Pear	15 gal	20' x 18'



Almond



Apricot



Fuji Apple



Granny Smith Apple



Peach

ACCENT FRUITING TREES:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
Citrus x aurantiifolia 'Bears' Lime'	Bears' Lime	15 gal	7' x 10'
Citrus x limon 'Meyer'	Meyer Lemon	15 gal	6' x 6'
Citrus x paradisi 'Oroblanco'	Oroblanco Grapefruit	15 gal	12' x 15'
Citrus x tangelo 'Mnneola'	Honeybell Tangelo	15 gal	12' x 12'
Diospyros kaki 'Fuyu'	Persimmon	15 gal	20' x 28'
Ficus carica 'Mission'	Mission Fig	15 gal	24' x 24'
Ficus carica 'Mission' espallier	Espallier Mission Fig	15 gal	8' x 12'
Punica granatum 'California Sunset'	Pomegranate	15 gal	10' x 10'



Bears' Lime



Meyer Lemon



Persimmon



Tangelo



Pomegranate

FLOWERING ACCENT & FOUNDATION SHRUBS:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
<i>acrostaphylos rosacea</i>	rosebush	1 gal	5' x 4'	<i>Arctostaphylos</i>	evergreen currant	5 gal	4' x 4'
<i>arbutus 'Elfin King'</i>	arbutus	5 gal	5' x 7'	<i>rosa californica</i>	california rose	5 gal	4' x 5'
<i>corda occidentalis</i>	western redbud	5 gal	12' x 10'	<i>rhaphanocarpus</i>	californian	5 gal	8' x 8'
<i>oleocarpus pallidus</i>	pink brush of heaven	5 gal	5' x 7'	<i>panicum canadense (plantain)</i>	panicum	5 gal	4' x 3'
<i>olonea decora 'purple'</i>	purple bushed heptameris	5 gal	12' x 10'	<i>salix heterophylla</i>	willow	5 gal	3' x 4'
<i>grethia hybrid 'red'</i>	grethia	5 gal	4' x 7'	<i>Stoukia uncinata</i>	silene flower	5 gal	10' x 12'
<i>hebe speciosa</i>	hebe	5 gal	5' x 4'	<i>Abutilon 'Rus' 'spiky bouquet'</i>	spiky bouquet abutilon	5 gal	8' x 4'
<i>lambertia monarda 'hyacinth'</i>	hyacinth flower	5 gal	15' x 3'	<i>vestriola ludoviana</i>	coast rosemary	5 gal	5' x 8'
<i>lambertia asperifolia</i>	mauve	5 gal	8' x 8'	<i>vestriola ludoviana 'morning light'</i>	morning light coast rosemary	5 gal	3' x 7'
<i>lambertia thurbergia 'hardy'</i>	tree mauve	5 gal	8' x 8'				
<i>lygostemon texanum</i>	woolflower	5 gal	8' x 4'				
<i>myrica californica</i>	purple rose myrtle	5 gal	8' x 8'				
<i>pitiosporum tenuifolium 'redspire'</i>	redspire	5 gal	12' x 10'				
<i>prunus ostensia 'light pink'</i>	california bush cherry	5 gal	12' x 4'				



Arctostaphylos spp.



Arbutus 'Elfin King'



Magnolia stellata



Cercis Occidentalis



Hebe speciosa



Rhamnus californica



Rosa californica



Lavatera spp.



Grevillea spp.



Westringia var.



Coleonema



Hebe hybs.



Myrica californica



Pitiosporum spp.

FOREGROUND SHRUBS:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
<i>berberis thunbergii 'Strawberry Poppins'</i>	strawberry poppy	1 gal	1.5' x 2'	<i>Erigeron glaucus</i>	green flag flower	1 gal	7" x 20"
<i>gilia bicolor</i>	strawberry poppy	5 gal	4' x 4'	<i>matricaria inodora 'compacta'</i>	compact orange poppy	1 gal	3' x 4'
<i>diella x hybrida</i>	white rockrose	5 gal	3' x 8'	<i>erigeron annuus</i>	white monkey flower	1 gal	3' x 3'
<i>diella x purpurea 'Gold Ribbon'</i>	white rockrose	1 gal	4' x 3'	<i>phlox paniculata 'pink wendy'</i>	new Zealand flax	1 gal	2.2' x 3.0'
<i>correa hybrid 'Sunny Side'</i>	autumn bush	1 gal	2' x 6'	<i>phlox 'mascot queen'</i>	new Zealand flax	1 gal	3' x 3'
<i>comastria microphylla</i>	rockspire	1 gal	2' x 5'	<i>pitiosporum tenuifolium 'redspire'</i>	redspire	5 gal	8' x 4'
<i>diella glabra</i>	rockspire	1 gal	2' x 3'	<i>pitiosporum tenuifolium 'orange'</i>	orange de niro dwarf rock rose	1 gal	2' x 2'
<i>erythronium 'Bicolor' 'Double Master'</i>	willow	1 gal	2' x 3'	<i>pitiosporum tenuifolium 'dwarf'</i>	white de niro dwarf rock rose	1 gal	3' x 3'
<i>lupinus hybrida 'gardenmaster'</i>	lupinus	1 gal	3' x 2'	<i>rosa blanda 'looney'</i>	looney rose (R)	5 gal	3' x 4'
<i>hebe x autumn glory</i>	autumn glory hebe	1 gal	2' x 2'	<i>rosa x flower carpet 'red'</i>	flower carpet rose	2 gal	2' x 4'
<i>hebe 'cosy'</i>	hebe	1 gal	2' x 3'	<i>rosa x flower carpet 'white'</i>	rose	2 gal	2' x 4'
<i>hemerocallis hybrid</i>	yellow flag flower	1 gal	3' x 3'	<i>rosa x flower carpet 'holland'</i>	rose	2 gal	2' x 4'
<i>hemerocallis hybrid</i>	red flag flower	1 gal	3' x 3'	<i>rosalindia 'blue'</i>	lucan blue rosemary	1 gal	4' x 2'
<i>heuchera x terra arcadia</i>	woodbine	1 gal	1.5' x 1'	<i>lygostemon texanum</i>	woolflower	1 gal	3' x 3'
<i>erigeron glaucus 'dwarf'</i>	dwarf flag flower	5 gal	4' x 8'	<i>abutilon 'Rus' 'compacta'</i>	cranberry bush	1 gal	4' x 4'



Cistus spp.



Hemerocallis hybrid.



Dianthus



Mimulus



Loropetalum



Pitiosporum spp.



Pitiosporum spp.



Floral carpet rose



Floral carpet rose



Floral carpet rose



Erysimum hybrid.



Erysimum hybrid.



Heuchera hybrid.



Callistemon "Little John"

GRASSES & GROUND COVER:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
<i>arctostaphylos</i> spp.	manzanita	1 gal	1.5' x 8'	<i>nanella bergii</i>	deer grass	1 gal	3' x 2'
<i>baccharis pilularis</i>	dwarf coyote brush	1 gal	2' x 6'	<i>nanella tenax</i>	medican leather grass	1 gal	2' x 3'
<i>carex datta 'lowland garden'</i>	lowland garden sedge	1 gal	2.2' x 1.2'	<i>phlox paniculata 'pink wendy'</i>	new Zealand flax	1 gal	1.5' x 1.2'
<i>carex pensa</i>	sedge	1 gal	1.5' x 1'	<i>phlox paniculata 'pink wendy'</i>	dwarf green flax	1 gal	2.5' x 2.5'
<i>causartha</i> spp.	willow	1 gal	2.5' x 8'				
<i>comastria microphylla</i>	rockspire	1 gal	2' x 5'				
<i>erigeron glaucus 'velvet ribbon'</i>	velvet ribbon	1 gal	8' x 6'				
<i>festuca ovina glauca 'elfin blue'</i>	elfin blue	1 gal	8' x 12'				
<i>fragaria chiloensis</i>	beach strawberry	1 gal	6' x 24'				
<i>hebe 'pinguifolia Page'</i>	groundcover hebe	1 gal	3' x 3'				
<i>holboellium nuttallianum 'hobby blue'</i>	hobby blue rock rose	1 gal	8' x 36"				
<i>lygostemon texanum 'pink wendy'</i>	woolflower	1 gal	2.5' x 2.5'				
<i>lygostemon texanum 'pink wendy'</i>	woolflower	1 gal	2' x 1'				
<i>lygostemon texanum 'purple'</i>	woolflower	1 gal	3' x 4'				



Nassella tenuisima



Mullenbergia



Erigeron glaucus



Ceanothus spp.



Baccharis



Arctostaphylos spp.



Phorimium hybrid.



Fragaria



Carex pansa



Festuca Idahoensis



Festuca glauca



Phorimium hybrid.



Lilopee spp.



Hebe pinguifolia 'Page'



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District
 Perspective Rendering - South A Street
 from Lark District toward Transition District**



192-072

10.14.15

Scale: NTS

5.1



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

Lark District

NORTH FORTY

LOS GATOS, CA

Perspective Rendering - Park



192-072

10.14.15

Scale: NTS

5.2



See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District
Perspective Rendering - Alley 'A'
view from South A Street**



192-072

10.14.15

Scale: NTS

5.3



PLAN 1	1ST FLOOR: 0 sq.ft.
	2ND FLOOR: 719 sq.ft.
	3RD FLOOR: 495 sq.ft.
	TOTAL: 1,214 sq.ft.
	GARAGE: 251 sq.ft.
PLAN 2	1ST FLOOR: 713 sq.ft.
	2ND FLOOR: 703 sq.ft.
	TOTAL: 1,416 sq.ft.
	GARAGE: 452 sq.ft.
	YARD: 301 sq.ft.
PLAN 3	1ST FLOOR: 886 sq.ft.
	2ND FLOOR: 836 sq.ft.
	TOTAL: 1,722 sq.ft.
	GARAGE: 452 sq.ft.
	YARD: 250 sq.ft.
PLAN 4	1ST FLOOR: 108 sq.ft.
	2ND FLOOR: 749 sq.ft.
	3RD FLOOR: 585 sq.ft.
	TOTAL: 1,442 sq.ft.
	GARAGE: 273 sq.ft.
PLAN 5	1ST FLOOR: 0 sq.ft.
	2ND FLOOR: 857 sq.ft.
	3RD FLOOR: 561 sq.ft.
	TOTAL: 1,418 sq.ft.
	GARAGE: 260 sq.ft.
PLAN 6	1ST FLOOR: 853 sq.ft.
	2ND FLOOR: 597 sq.ft.
	3RD FLOOR: 495 sq.ft.
	TOTAL: 1,945 sq.ft.
	GARAGE: 462 sq.ft.
	YARD: 518 sq.ft.
PLAN 7	1ST FLOOR: 908 sq.ft.
	2ND FLOOR: 589 sq.ft.
	3RD FLOOR: 501 sq.ft.
	TOTAL: 1,998 sq.ft.
	GARAGE: 459 sq.ft.
	YARD: 338 sq.ft.

AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER = 1.73
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.92
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.10

Lark District
Floor Plans Garden Cluster - 7-Plex - 1st Floor Illustrative
 see Landscape Plans for more information

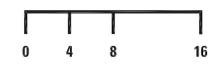
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.1



PLAN 3

PLAN 2

PLAN 7

PLAN 6

PLAN 4

PLAN 1

PLAN 5

Lark District

NORTH FORTY

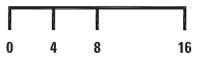
LOS GATOS, CA

Floor Plans Garden Cluster - 7-Plex - 2nd Floor



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.2



PLAN 4

PLAN 1

PLAN 5

Lark District

NORTH FORTY

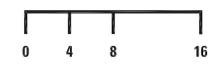
LOS GATOS, CA

Floor Plans Garden Cluster - 7-Plex -3rd Floor

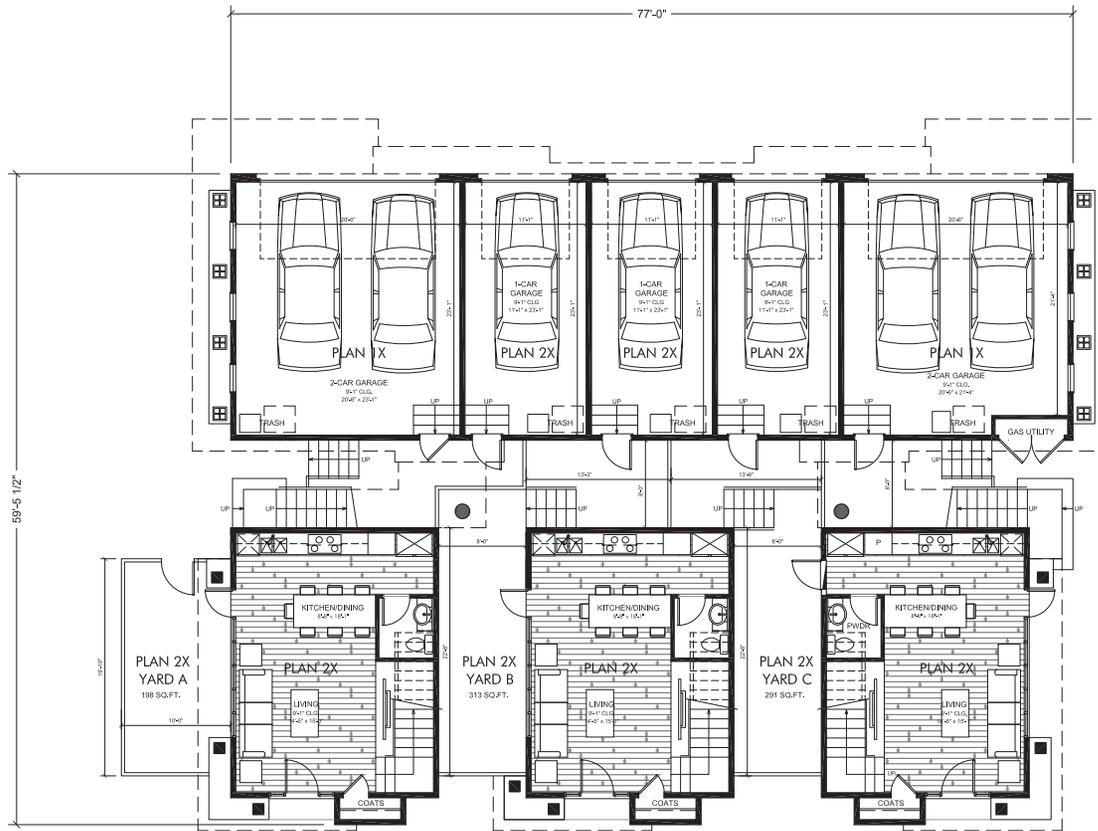


192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.3



PLAN 1X

1ST FLOOR: 0 sq. ft.
 2ND FLOOR: 1,001 sq. ft.
 3RD FLOOR: 686 sq. ft.
 TOTAL: 1,687 sq. ft.
 GARAGE: 516 sq. ft.

PLAN 2X

1ST FLOOR: 485 sq. ft.
 2ND FLOOR: 433 sq. ft.
 TOTAL: 918 sq. ft.
 GARAGE: 281 sq. ft.

** AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER = 1.73
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.92

Lark District

NORTH FORTY

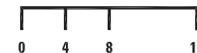
LOS GATOS, CA

Floor Plans Garden Cluster - 5-Plex - 1st Floor



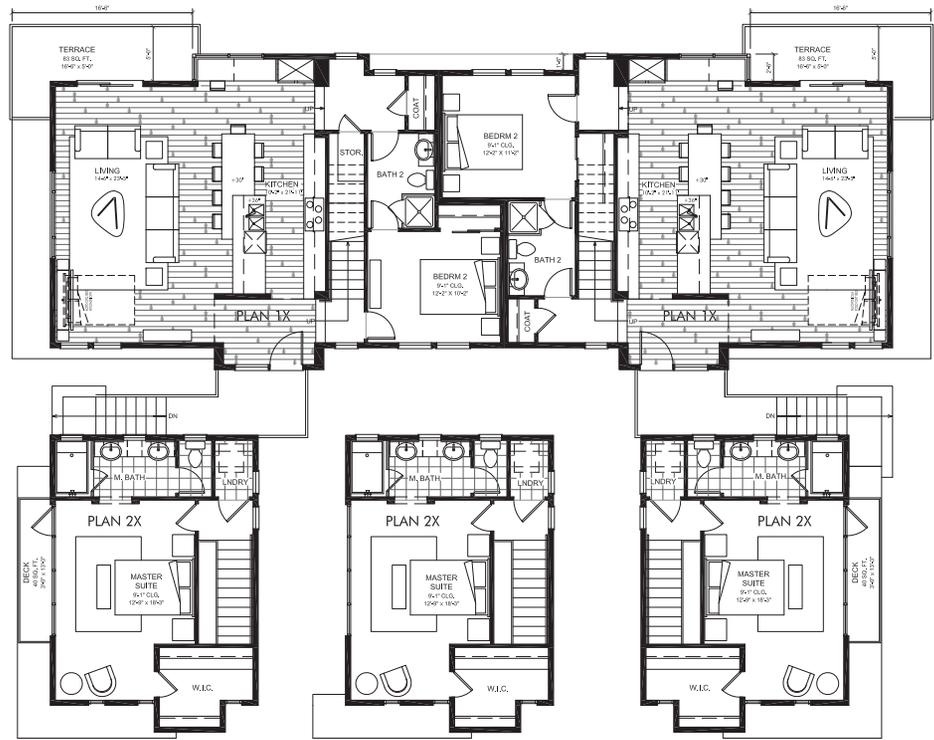
192-072

10.14.15



Scale: 3/16" = 1'-0"

5.GC.4



Lark District

NORTH FORTY

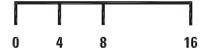
LOS GATOS, CA

Floor Plans Garden Cluster - 5-Plex - 2nd Floor



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.GC.5



Lark District

NORTH FORTY

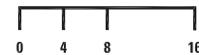
LOS GATOS, CA

Floor Plans Garden Cluster - 5-Plex - 3rd Floor



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.GC.6



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District
 Perspective Rendering - Garden Cluster - 7-Plex
 Cluster 1**



192-072

10.14.15

5.GC.7



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District
 Perspective Rendering - Garden Cluster - 7-Plex
 Cluster 2**



192-072

10.14.15

5.GC.8



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

Lark District
Perspective Rendering - Garden Cluster - 5-Plex
Cluster 3

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15

5.GC.9



MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER 1 7-PLEX	COLOR SCHEMES				
	1	2	3	5	9
PLAN 1				•	
PLAN 2		•			
PLAN 3			•		
PLAN 4				•	
PLAN 5				•	
PLAN 6	•				
PLAN 7					•

NORTH FORTY

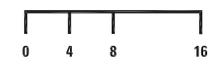
LOS GATOS, CA

**Lark District
Cluster 1 - Garden Cluster - 7-Plex
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.10



MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER 1 7-PLEX	COLOR SCHEMES				
	1	2	3	5	9
PLAN 1				•	
PLAN 2		•			
PLAN 3			•		
PLAN 4				•	
PLAN 5				•	
PLAN 6	•				
PLAN 7					•

NORTH FORTY

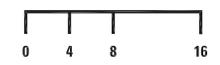
LOS GATOS, CA

**Lark District
Cluster 1 - Garden Cluster - 7-Plex
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.11



RIGHT SIDE ELEVATION

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION

GARDEN CLUSTER 2 7-PLEX	COLOR SCHEMES				
	1	4	5	6	10
PLAN 1		•			
PLAN 2	•				
PLAN 3			•		
PLAN 4		•			
PLAN 5		•			
PLAN 6				•	
PLAN 7					•

NORTH FORTY

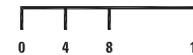
LOS GATOS, CA

**Lark District
Cluster 2 - Garden Cluster - 7-Plex
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.GC.12



MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER 2 7-PLEX	COLOR SCHEMES				
	1	4	5	6	10
PLAN 1		•			
PLAN 2	•				
PLAN 3			•		
PLAN 4		•			
PLAN 5		•			
PLAN 6				•	
PLAN 7					•

NORTH FORTY

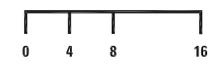
LOS GATOS, CA

Lark District Cluster 2 - Garden Cluster - 7-Plex Illustrative Elevation



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.13



MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER (GC)	COLOR SCHEMES			
	1	3	5	7
5-PLEX				
PLAN 1X				•
PLAN 2X	•	•	•	

NORTH FORTY

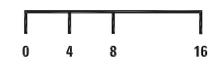
LOS GATOS, CA

**Lark District
Cluster 3 - Garden Cluster - 5-Plex
Illustrative Elevation**



192-072

10,14,15



Scale: 3/16" = 1'-0"
5.GC.14



MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER (GC)	COLOR SCHEMES			
	1	3	5	7
5-PLEX				
PLAN 1X				•
PLAN 2X	•	•	•	

NORTH FORTY

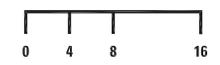
LOS GATOS, CA

**Lark District
Cluster 3 - Garden Cluster - 5-Plex
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.15



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR THIS BUILDING TYPE OCCURS AT BUILDING 12.
- LARGEST GRADING FILL FOR THIS BUILDING TYPE OCCURS AT BUILDING 9.
- SEE CIVIL DRAWING SHEETS 1.6 & 1.7 FOR BUILDING NUMBERS.
- SEE SHEET 5.ST.8 FOR BUILDING 21 GRADING DIAGRAM OF F.G. & E.G.



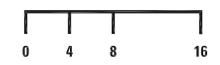
**Lark District
Cluster 1 - Garden Cluster - 7-Plex
Technical Elevation**

NORTH FORTY | **LOS GATOS, CA**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.10a



RIGHT SIDE ELEVATION



FRONT ELEVATION

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE: SEE CLUSTER 1 FOR LARGEST CUT & FILL INFORMATION

NORTH FORTY

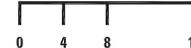
LOS GATOS, CA

Lark District
Cluster 2 - Garden Cluster - 7-Plex
Technical Elevation



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.12a



LEFT SIDE ELEVATION



REAR ELEVATION

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CLUSTER 1 FOR LARGEST CUT & FILL INFORMATION

NORTH FORTY

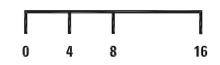
LOS GATOS, CA

Lark District
Cluster 2 - Garden Cluster - 7-Plex
Technical Elevation



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.GC.13a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- GC-5-PLEX ONLY OCCURS AT EXISTING GRADE CUT. THERE ARE NO EXISTING GRADE FILL AT THIS CLUSTER TYPE.
- LARGEST GRADING CUT FOR GC-5 PLEX BUILDING TYPE OCCURS AT BUILDING 24.
- SEE CIVIL DRAWING SHEET 1.7 FOR BUILDING NUMBERS.

NORTH FORTY

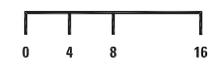
LOS GATOS, CA

**Lark District
Cluster 3 - Garden Cluster - 5-Plex
Technical Elevation**



192-072

10,14,15



Scale: 3/16" = 1'-0"
5.GC.14a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- GC-5-PLEX ONLY OCCURS AT EXISTING GRADE CUT, THERE ARE NO EXISTING GRADE FILL AT THIS CLUSTER TYPE.
- LARGEST GRADING CUT FOR GC-5-PLEX BUILDING TYPE OCCURS AT BUILDING 24.
- SEE CIVIL DRAWING SHEET 1.7 FOR BUILDING NUMBERS.



NORTH FORTY

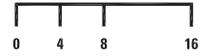
LOS GATOS, CA

**Lark District
Cluster 3 - Garden Cluster - 5-Plex
Technical Elevation**



192-072

10,14,15



Scale: 3/16" = 1'-0"
5.GC.15a



PLAN 1-R	PLAN 2-R	PLAN 3	PLAN 2	PLAN 1
1ST FLOOR: 295 sq.ft.	1ST FLOOR: 121 sq.ft.	1ST FLOOR: 372 sq.ft.	1ST FLOOR: 121 sq.ft.	1ST FLOOR: 295 sq.ft.
2ND FLOOR: 680 sq.ft.	2ND FLOOR: 660 sq.ft.	2ND FLOOR: 826 sq.ft.	2ND FLOOR: 660 sq.ft.	2ND FLOOR: 680 sq.ft.
3RD FLOOR: 653 sq.ft.	3RD FLOOR: 719 sq.ft.	3RD FLOOR: 746 sq.ft.	3RD FLOOR: 719 sq.ft.	3RD FLOOR: 653 sq.ft.
TOTAL: 1,628 sq.ft.	TOTAL: 1,500 sq.ft.	TOTAL: 1,944 sq.ft.	TOTAL: 1,500 sq.ft.	TOTAL: 1,628 sq.ft.
GARAGE: 454 sq.ft.	GARAGE: 489 sq.ft.	GARAGE: 438 sq.ft.	GARAGE: 489 sq.ft.	GARAGE: 454 sq.ft.

** AVERAGE BEDROOM COUNT FOR ROWHOME = 2.25
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.92
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.11

**Lark District & Transition District Area D
 Floor Plans Rowhome - 5-Plex - 1st Floor Illustrative
 see Landscape Plans for more information**

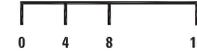
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.RH.1





NORTH FORTY

LOS GATOS, CA

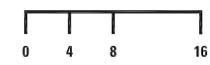
Lark District & Transition District Area D

Floor Plans Rowhome - 5-Plex - 3rd Floor

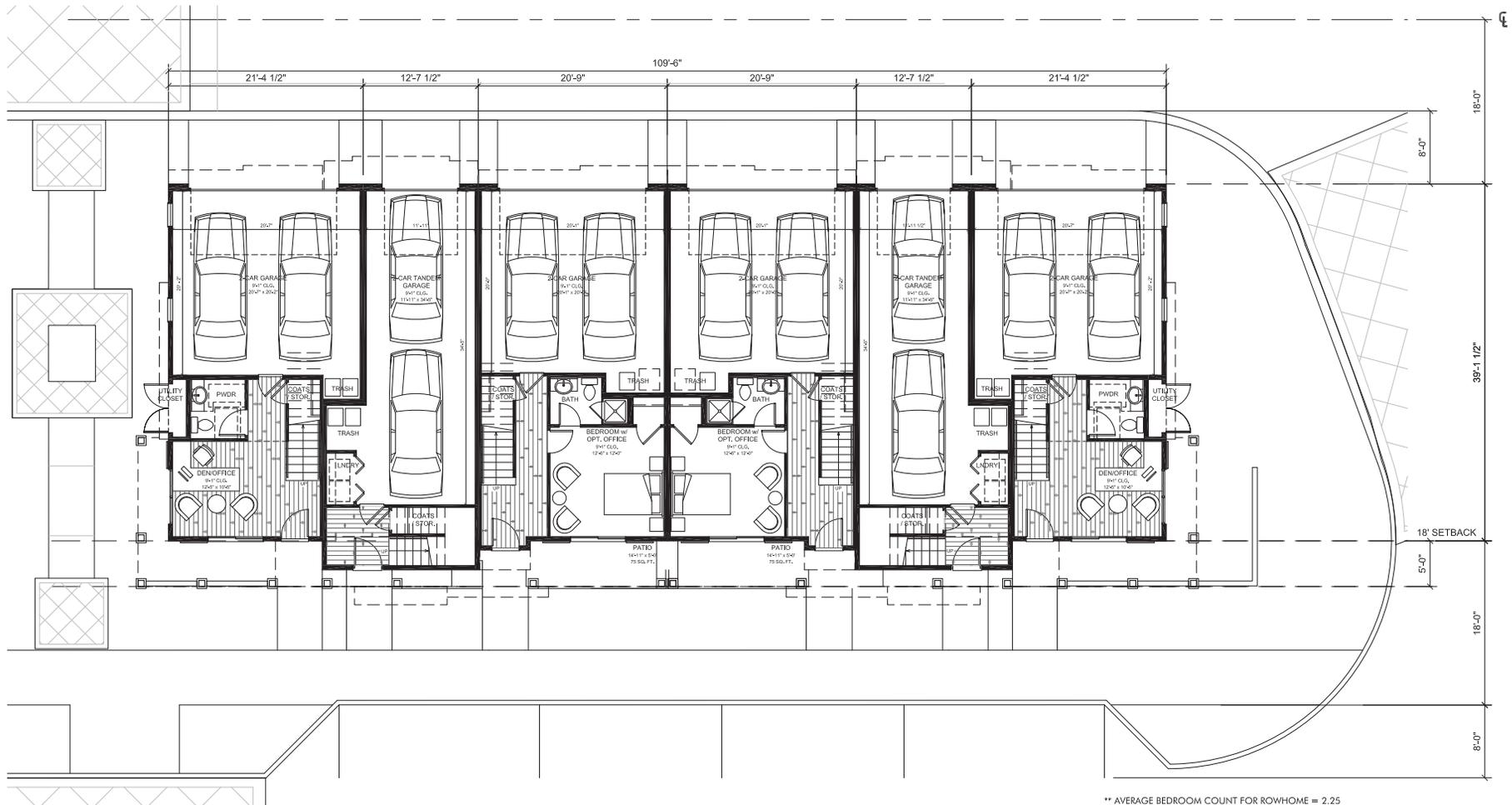


192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.3



** AVERAGE BEDROOM COUNT FOR ROWHOME = 2.25
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.92

PLAN 1-R	PLAN 2-R	PLAN 3	PLAN 3	PLAN 2	PLAN 1
1ST FLOOR: 295 sq.ft.	1ST FLOOR: 121 sq.ft.	1ST FLOOR: 372 sq.ft.	1ST FLOOR: 372 sq.ft.	1ST FLOOR: 121 sq.ft.	1ST FLOOR: 295 sq.ft.
2ND FLOOR: 680 sq.ft.	2ND FLOOR: 660 sq.ft.	2ND FLOOR: 826 sq.ft.	2ND FLOOR: 826 sq.ft.	2ND FLOOR: 660 sq.ft.	2ND FLOOR: 680 sq.ft.
3RD FLOOR: 653 sq.ft.	3RD FLOOR: 719 sq.ft.	3RD FLOOR: 746 sq.ft.	3RD FLOOR: 746 sq.ft.	3RD FLOOR: 719 sq.ft.	3RD FLOOR: 653 sq.ft.
TOTAL: 1,628 sq.ft.	TOTAL: 1,500 sq.ft.	TOTAL: 1,944 sq.ft.	TOTAL: 1,944 sq.ft.	TOTAL: 1,500 sq.ft.	TOTAL: 1,628 sq.ft.
GARAGE: 454 sq.ft.	GARAGE: 489 sq.ft.	GARAGE: 438 sq.ft.	GARAGE: 438 sq.ft.	GARAGE: 489 sq.ft.	GARAGE: 454 sq.ft.

Lark District & Transition District Area D

NORTH FORTY

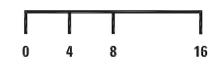
LOS GATOS, CA

Floor Plans Rowhome - 6-Plex - 1st Floor

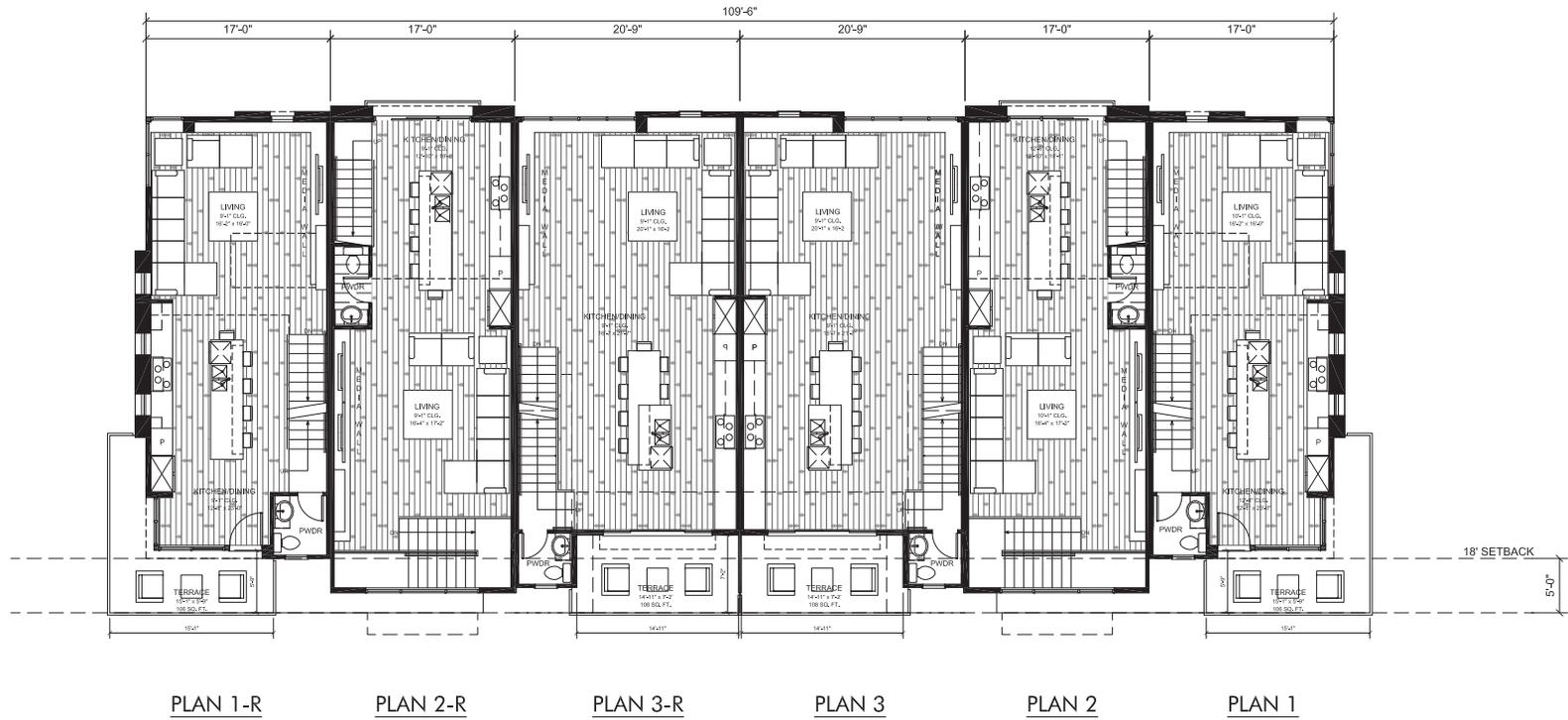


192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.4



NORTH FORTY

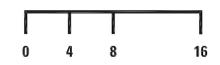
LOS GATOS, CA

Lark District & Transition District Area D
 Floor Plans Rowhome - 6-Plex - 2nd Floor

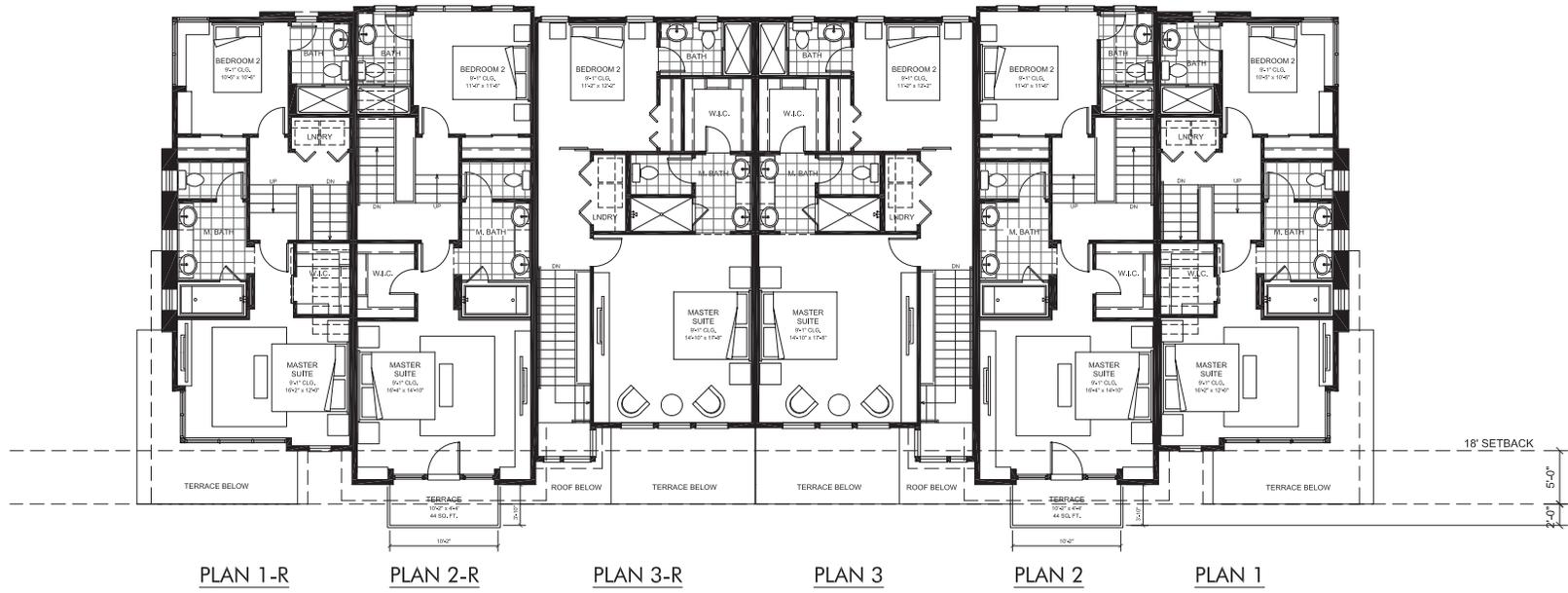


192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.5



NORTH FORTY

LOS GATOS, CA

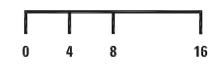
Lark District & Transition District Area D

Floor Plans Rowhome - 6-Plex - 3rd Floor



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10.14.15



Scale: 3/16" = 1'-0"
5.RH.6



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District & Transition District Area D
 Perspective Rendering - Rowhome - 5-Plex
 Elevation A**



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10.14.15

5.RH.7



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District & Transition District Area D
 Perspective Rendering - Rowhome - 5-Plex
 Elevation B**



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10.14.15

5.RH.8



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District & Transition District Area D
Perspective Rendering - Rowhome - 5-Plex
Elevation D**



192-072

10.14.15

5.RH.9



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

**Lark District & Transition District Area D
 Perspective Rendering - Rowhome - 6-Plex
 Elevation A**

NORTH FORTY

LOS GATOS, CA



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10.14.15

5.RH.10



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

**Lark District & Transition District Area D
 Perspective Rendering - Rowhome - 6-Plex
 Elevation B**

NORTH FORTY

LOS GATOS, CA



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10.14.15

5.RH.11

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

**Lark District & Transition District Area D
Elevation A - Rowhome - 5-Plex
Illustrative Elevation**

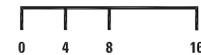
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LOS GATOS, CA



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Scale: 3/16" = 1'-0"

5.RH.12



PLAN 1 / PLAN 1-R
SIDE ELEVATIONS

HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



PLAN 1 PLAN 2 PLAN 3 PLAN 2-R PLAN 1-R
REAR ELEVATION

HEIGHT LIMIT
35'-0"

ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

**Lark District & Transition District Area D
Elevation A - Rowhome - 5-Plex
Illustrative Elevation**

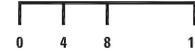
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.13

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION

ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

**Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Illustrative Elevation**

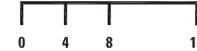
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.RH.14



MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

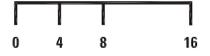
**Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Illustrative Elevation**

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10.14.15



Scale: 3/16" = 1'-0"
5.RH.15

MATERIAL LEGEND #

- 1. PLASTER
- 2. BOARD AND BATTEN SIDING
- 3. METAL RAILING
- 4. PLASTER COLUMN
- 5. WOOD SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. METAL AWING
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

NORTH FORTY

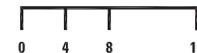
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**Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.16



HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

PLAN 1 / PLAN 1-R
SIDE ELEVATIONS



HEIGHT LIMIT
35'-0"

REAR ELEVATION

ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

NORTH FORTY

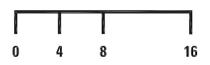
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Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Illustrative Elevation



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.17

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION

ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

**Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Illustrative Elevation**

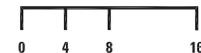
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Scale: 3/16" = 1'-0"

5.RH.18



HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

PLAN 1 / PLAN 1-R
SIDE ELEVATIONS



HEIGHT LIMIT
35'-0"

REAR ELEVATION

ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Illustrative Elevation

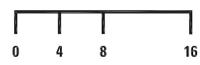
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Scale: 3/16" = 1'-0"
5.RH.19

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

**Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Illustrative Elevation**

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Scale: 3/16" = 1'-0"
5.RH.20



PLAN 1 / PLAN 1-R
SIDE ELEVATIONS

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



REAR ELEVATION

ROWHOME (RH)	COLOR SCHEMES		
	1	2	11
5-PLEX ELEV A	•		
5-PLEX ELEV B		•	
5-PLEX ELEV D			•
6-PLEX ELEV A	•		
6-PLEX ELEV B		•	

**Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Illustrative Elevation**

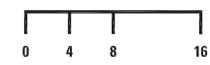
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10.14.15



Scale: 3/16" = 1'-0"
5.RH.21

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 22.
- LARGEST GRADING FILL FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 35.
- SEE CIVIL DRAWING SHEETS 1.6 - 1.8 FOR BUILDING NUMBERS.



FRONT ELEVATION

Lark District & Transition District Area D
Elevation A - Rowhome - 5-Plex
Technical Elevation

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Scale: 3/16" = 1'-0"
5.RH.12a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 22.
- LARGEST GRADING FILL FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 35.
- SEE CIVIL DRAWING SHEETS 1.6 - 1.8 FOR BUILDING NUMBERS.



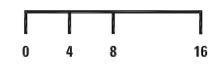
**Lark District & Transition District Area D
Elevation A - Rowhome - 5-Plex
Technical Elevation**

NORTH FORTY | **LOS GATOS, CA**



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10.14.15



Scale: 3/16" = 1'-0"
5.RH.13a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Technical Elevation

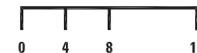
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.RH.14a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



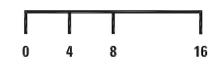
**Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Technical Elevation**

NORTH FORTY | **LOS GATOS, CA**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.15a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



NORTH FORTY

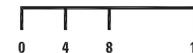
LOS GATOS, CA

Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Technical Elevation



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.16a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



**Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Technical Elevation**

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.17a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 7.
- LARGEST GRADING FILL FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 31.
- SEE CIVIL DRAWING SHEETS 1.6 - 1.8 FOR BUILDING NUMBERS.



FRONT ELEVATION

**Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Technical Elevation**

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.18a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 7.
- LARGEST GRADING FILL FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 31.
- SEE CIVIL DRAWING SHEETS 1.6 - 1.8 FOR BUILDING NUMBERS.



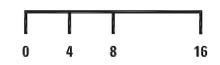
**Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Technical Elevation**

NORTH FORTY | **LOS GATOS, CA**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.19a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-6 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Technical Elevation

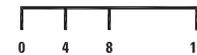
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.20a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-6 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



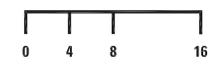
**Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Technical Elevation**

NORTH FORTY | **LOS GATOS, CA**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.RH.21a



**Lark District & Transition District Area D
Floor Plans Full Condominium Cluster - 1st Floor Illustrative
see Landscape Plans for more information**

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 1/8" = 1'-0"

5.CC.1



PLAN 5

1ST FLOOR:	863 sq.ft.
2ND FLOOR:	969 sq.ft.
TOTAL:	1,832 sq.ft.
GARAGE:	466 sq.ft.

PLAN 4

1ST FLOOR:	200 sq.ft.
2ND FLOOR:	154 sq.ft.
3RD FLOOR:	1,254 sq.ft.
TOTAL:	1,608 sq.ft.
GARAGE:	291 sq.ft.

PLAN 2

1ST FLOOR:	268 sq.ft.
2ND FLOOR:	987 sq.ft.
TOTAL:	1,255 sq.ft.
GARAGE:	269 sq.ft.

PLAN 3

1ST FLOOR:	160 sq.ft.
2ND FLOOR:	210 sq.ft.
3RD FLOOR:	1,200 sq.ft.
TOTAL:	1,570 sq.ft.
GARAGE:	269 sq.ft.

PLAN 6

1ST FLOOR:	443 sq.ft.
2ND FLOOR:	752 sq.ft.
3RD FLOOR:	747 sq.ft.
TOTAL:	1,942 sq.ft.
GARAGE:	456 sq.ft.

PLAN 1

1ST FLOOR:	0 sq.ft.
3RD FLOOR:	996 sq.ft.
TOTAL:	996 sq.ft.
GARAGE:	497 sq.ft.

PLAN 1

1ST FLOOR:	0 sq.ft.
2ND FLOOR:	996 sq.ft.
TOTAL:	996 sq.ft.
GARAGE:	497 sq.ft.

PLAN 7

1ST FLOOR:	398 sq.ft.
2ND FLOOR:	1,010 sq.ft.
3RD FLOOR:	591 sq.ft.
TOTAL:	1,999 sq.ft.
GARAGE:	489 sq.ft.

** AVERAGE BEDROOM COUNT FOR CONDOMINIUM CLUSTER = 1.75
 ** AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.92
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.12 & 5.ST.13

NORTH FORTY

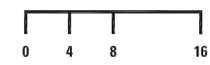
LOS GATOS, CA

**Lark District & Transition District Area D
 Floor Plans Condominium Cluster - 1st Floor Illustrative
 see Landscape Plans for more information**

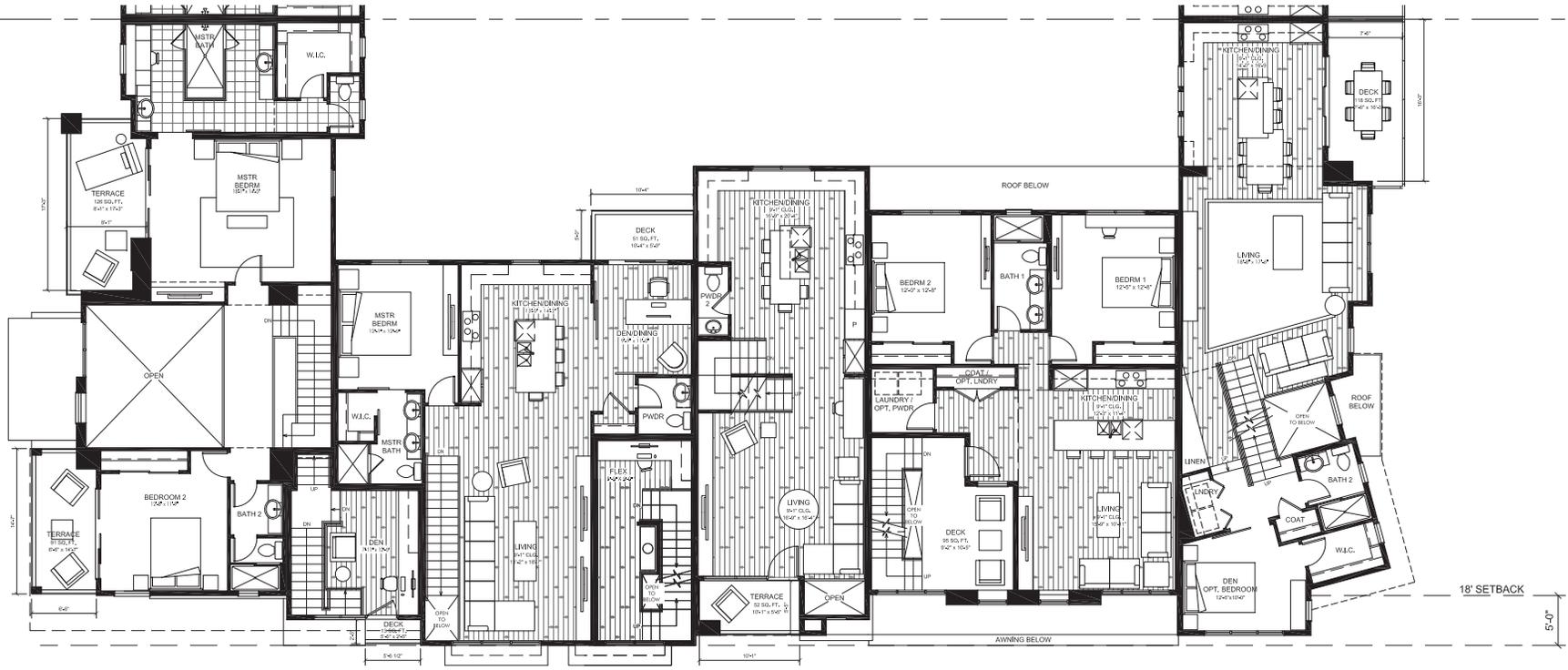


192-072

10.14.15



Scale: 3/16" = 1'-0"
5.CC.2



PLAN 5

PLAN 4

PLAN 2

PLAN 3

PLAN 6

PLAN 1

PLAN 7

NORTH FORTY

LOS GATOS, CA

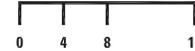
Lark District & Transition District Area D

Floor Plans Condominium Cluster - 2nd Floor



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.3



PLAN 4

PLAN 3

PLAN 6

PLAN 1

PLAN 7

NORTH FORTY

LOS GATOS, CA

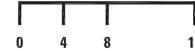
Lark District & Transition District Area D

Floor Plans Condominium Cluster - 3rd Floor



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.4



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

**Lark District & Transition District Area D
 Perspective Rendering - Condominium Cluster
 Elevation A**

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15

5.CC.5



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

**Lark District & Transition District Area D
 Perspective Rendering - Condominium Cluster
 Elevation B**

NORTH FORTY

LOS GATOS, CA



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10.14.15

5.CC.6



See landscape drawings for additional information on trees and planting;
 some proposed landscaping may not be shown in this rendering for clarity

**Lark District & Transition District Area D
 Perspective Rendering - Condominium Cluster
 Elevation D**

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15

5.CC.7

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. STAINED WOOD SLAT or SMOOTH PANEL SIDING
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. STANDING SEAM METAL ROOF
- 12. METAL AWNING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



SIDE ELEVATION

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	•		
ELEV B		•	
ELEV D			•

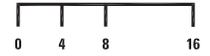
**Lark District & Transition District Area D
Elevation A - Condominium Cluster
Illustrative Elevation**

NORTH FORTY | LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.8

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"



FRONT ELEVATION

HEIGHT LIMIT
35'-0"

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	•		
ELEV B		•	
ELEV D			•



REAR ELEVATION

**Lark District & Transition District Area D
Elevation A - Condominium Cluster
Illustrative Elevation**

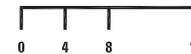
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.9

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. STAINED WOOD SLATS or SMOOTH PANEL SIDING
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. METAL AWNING
- 14. LAP SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



HEIGHT LIMIT
35'-0"

SIDE ELEVATION

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	•		
ELEV B		•	
ELEV D			•

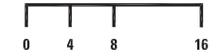
NORTH FORTY | LOS GATOS, CA

**Lark District & Transition District Area D
Elevation B - Condominium Cluster
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.CC.10

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"



FRONT ELEVATION

HEIGHT LIMIT
35'-0"



REAR ELEVATION

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	•		
ELEV B		•	
ELEV D			•

NORTH FORTY

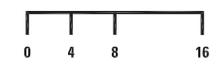
LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Condominium Cluster
Illustrative Elevation



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.CC.11

MATERIAL LEGEND #

- 1. PLASTER
- 2. METAL RAILING
- 3. 10X10 WOOD POST w/ PLASTER BASE
- 4. STAINED WOOD SLAT or SMOOTH PANEL SIDING
- 5. WOOD SOFFIT
- 6. WOOD TRIM
- 7. SMOOTH PANEL SIDING
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. COMPOSITION SHINGLE ROOF
- 12. METAL AWNING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



SIDE ELEVATION

NORTH FORTY

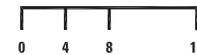
LOS GATOS, CA

**Lark District & Transition District Area D
Elevation D - Condominium Cluster
Illustrative Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.12

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"



FRONT ELEVATION

HEIGHT LIMIT
35'-0"



REAR ELEVATION

**Lark District & Transition District Area D
Elevation D - Condominium Cluster
Illustrative Elevation**

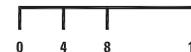
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.CC.13

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE



SIDE ELEVATION

NOTE:

- LARGEST GRADING CUT FOR CC BUILDING TYPE OCCURS AT BUILDING 3.
- LARGEST GRADING FILL FOR CC BUILDING TYPE OCCURS AT BUILDING 28.
- SEE CIVIL DRAWING SHEETS 1.6 - 1.8 FOR BUILDING NUMBERS.

**Lark District & Transition District Area D
Elevation A - Condominium Cluster
Technical Elevation**

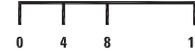
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.8a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0'.
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

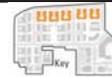
- LARGEST GRADING CUT FOR CC BUILDING TYPE OCCURS AT BUILDING 3.
- LARGEST GRADING FILL FOR CC BUILDING TYPE OCCURS AT BUILDING 28.
- SEE CIVIL DRAWING SHEETS 1.6 - 1.8 FOR BUILDING NUMBERS.



**Lark District & Transition District Area D
Elevation A - Condominium Cluster
Technical Elevation**

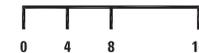
NORTH FORTY

LOS GATOS, CA



192-072

10,14,15



Scale: 3/16" = 1'-0"

5.CC.9a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION



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LOS GATOS, CA

**Lark District & Transition District Area D
Elevation B - Condominium Cluster
Technical Elevation**



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.CC.10a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION

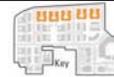
FRONT ELEVATION



REAR ELEVATION

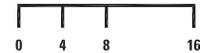
**Lark District & Transition District Area D
Elevation B - Condominium Cluster
Technical Elevation**

NORTH FORTY | LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.CC.11a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION



SIDE ELEVATION

**Lark District & Transition District Area D
Elevation D - Condominium Cluster
Technical Elevation**

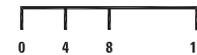
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"

5.CC.12a



FRONT ELEVATION

GENERAL NOTE
 1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
 2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
 NOTES:
 SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION



REAR ELEVATION

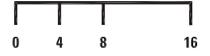
**Lark District & Transition District Area D
 Elevation D - Condominium Cluster
 Technical Elevation**

NORTH FORTY | LOS GATOS, CA

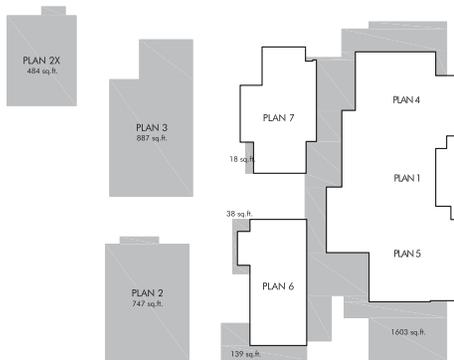


192-072

10.14.15



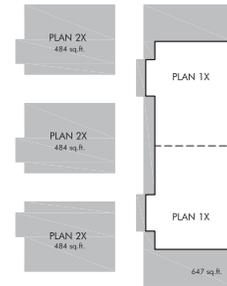
Scale: 3/16" = 1'-0"
5.CC.13a



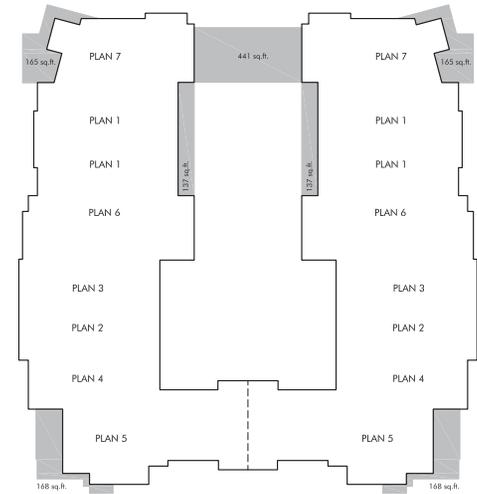
GC - 8-PLEX A



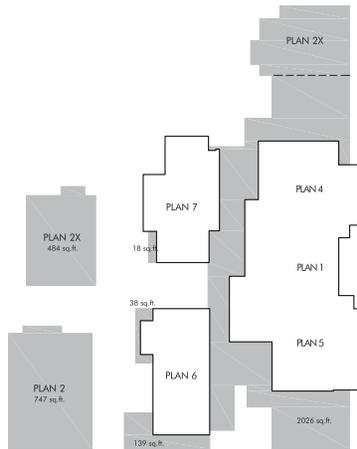
GC - 7-PLEX A



GC - 5-PLEX



CC - 16-PLEX



GC - 8-PLEX B



GC - 7-PLEX B



3-STORY BUILDING MASS



2-STORY BUILDING MASS OR LESS,
BUILDING HEIGHT BELOW 25'-0"

LEGEND

Building type	2-Story Mass (sq ft)	#	Total 2-Story Mass (sq ft)	Total 2-Story Mass / Total Bldg. Lot coverage (%)
DETACHED_P2x (2-story)	484	2	968	15% minimum required
DETACHED_Garage (1-story)	473	1	473	
GC_5 PLEX	2099	2	4198	
GC_7 PLEX_A	3182	6	19092	
GC_7 PLEX_B	2780	1	2780	
GC_8 PLEX_A	3916	2	7832	
GC_8 PLEX_B	3452	1	3452	
CC_16 PLEX	1381	3	4143	
Total			42938	29%
Total Building Lot Coverage			145745	

NOTE: 2-STORY MASSING STUDY APPLIES ONLY TO BUILDINGS LOCATED IN LARK DISTRICT.



LEGEND

- RH - BUILDING TYPE
- A - ELEVATION STYLE
- 1 - COLOR SCHEME

BUILDING MASS

BUILDING TYPES

- GC - GARDEN CLUSTER
- RH - ROWHOME
- CC - CONDOMINIUM CLUSTER

ELEVATION STYLES

- ELEVATION A
- ELEVATION B
- ELEVATION C
- ELEVATION D

COLOR SCHEME LEGEND

THIS DIAGRAM SHOWS ONLY A REPRESENTATION OF THE VARIETY OF SCHEMES PROVIDED. PLEASE REFER TO COLOR AND MATERIAL BOARD FOR ACTUAL COLORS PROPOSED FOR EACH SCHEME.



**Lark District & Transition District Area D
Site Plan
Elevation Style & Color Scheme Mix**

NORTH FORTY

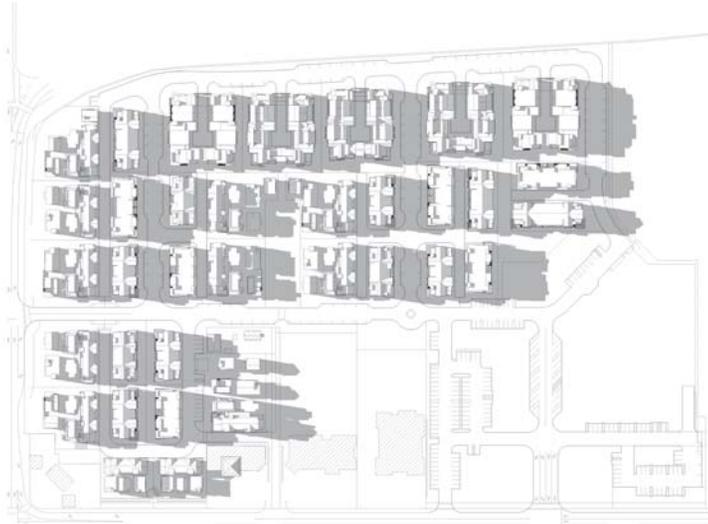
LOS GATOS, CA



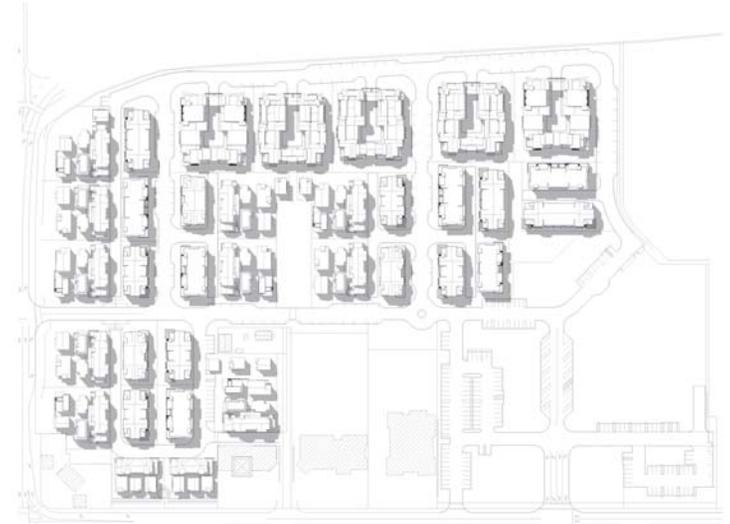
192-072

10.14.15

Scale: NTS
5.ST.2



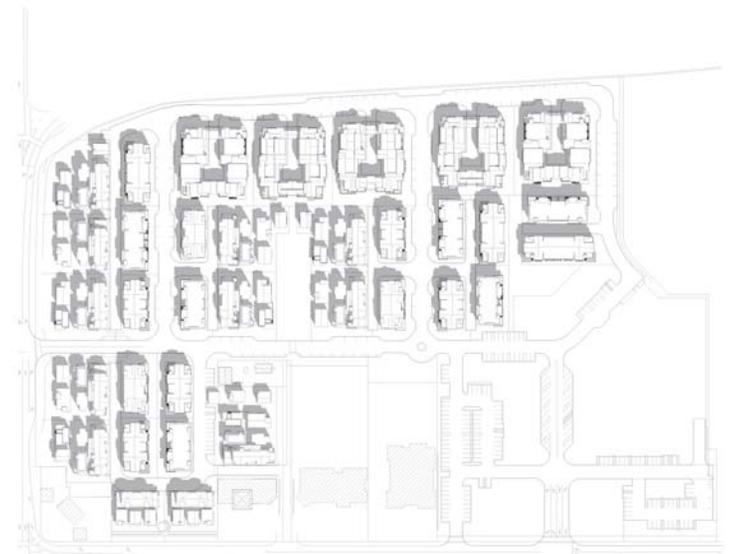
WINTER SOLSTICE ON DEC 21 @ 3 PM



SUMMER SOLSTICE ON JUNE 21 @ 3 PM



WINTER SOLSTICE ON DEC 21 @ 9 AM



SUMMER SOLSTICE ON JUNE 21 @ 9 AM

Lark District & Transition District Area D

Solar Access Shadow Study

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15

Scale: NTS

5.ST.3



EXISTING COMMERCIAL BUILDING



EXISTING COMMERCIAL BUILDING



EXISTING COMMERCIAL BUILDING



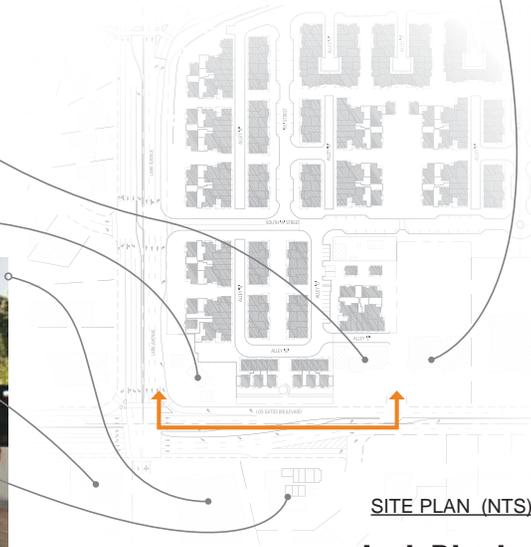
EXISTING GAS STATION



EXISTING COMMERCIAL BUILDING



EXISTING COMMERCIAL BUILDING



SITE PLAN (NTS)

Lark District

NORTH FORTY

LOS GATOS, CA

Streetscape and Context Information at Los Gatos Blvd.



192-072

10.14.15

Scale: 1/16" = 1'-0"

5.ST.4



LARK AVE
STREETSCAPE



LARK AVE
STREETSCAPE



EXISTING SINGLE FAMILY RESIDENCES



EXISTING SINGLE FAMILY RESIDENCE



EXISTING BUILDING



EXISTING CAR WASH



SITE PLAN (NTS)

Lark District

NORTH FORTY

LOS GATOS, CA

Streetscape and Context Information at Lark Ave



192-072

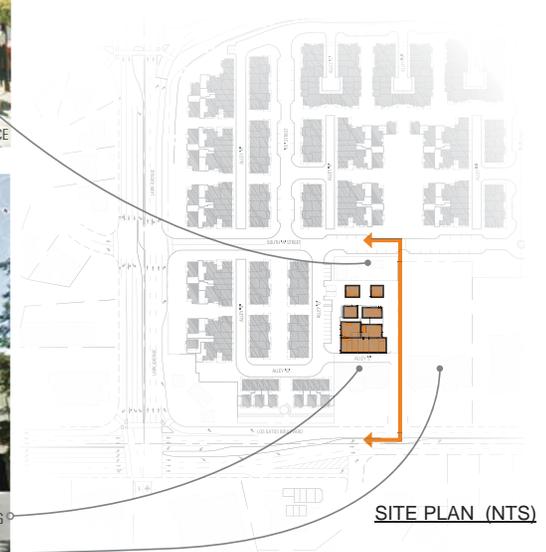
10.14.15

Scale: 1/16" = 1'-0"

5.ST.5



EXISTING SINGLE FAMILY RESIDENCE



SITE PLAN (NTS)



EXISTING BUILDING



EXISTING BUILDING

Lark District

NORTH FORTY

LOS GATOS, CA

Streetscape and Context Information at Bennett Way



192-072

10.14.15

Scale: 1/16" = 1'-0"

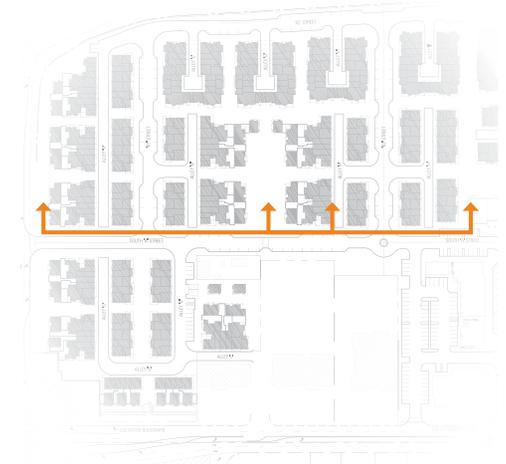
5.ST.6



**SOUTH 'A' STREET
STREETSCAPE**



**SOUTH 'A' STREET
STREETSCAPE**



SITE PLAN (NTS)

Lark District & Transition District Area D

Streetscape at South 'A' Street

NORTH FORTY

LOS GATOS, CA

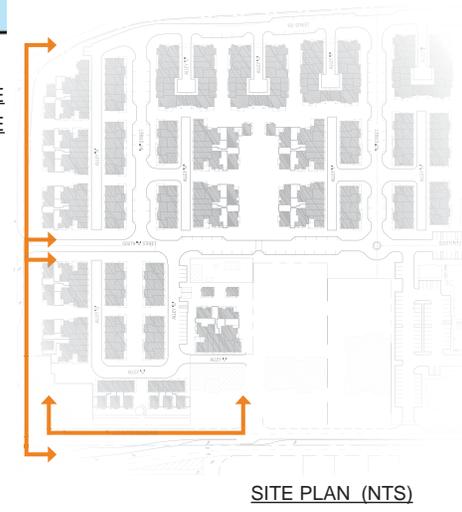
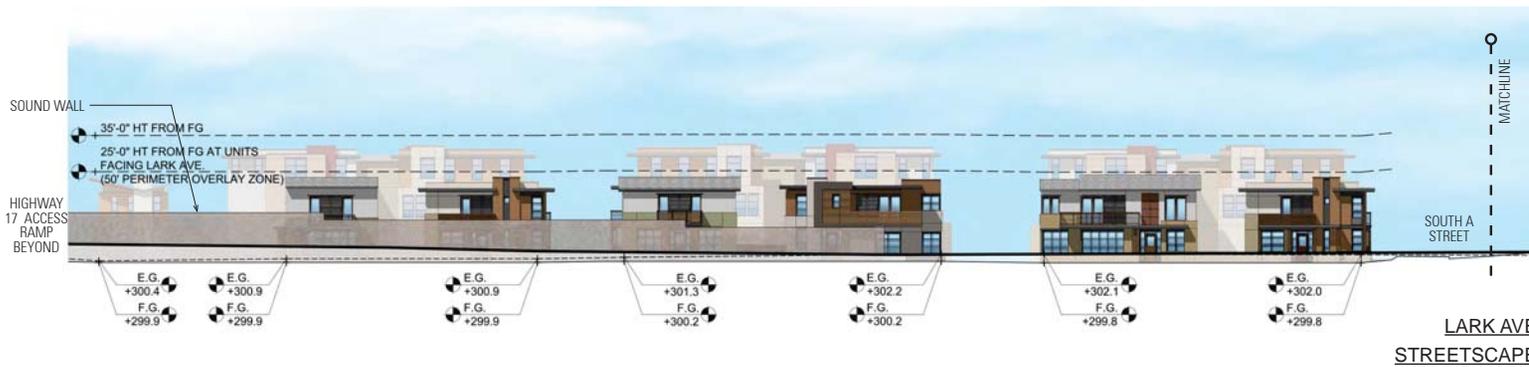
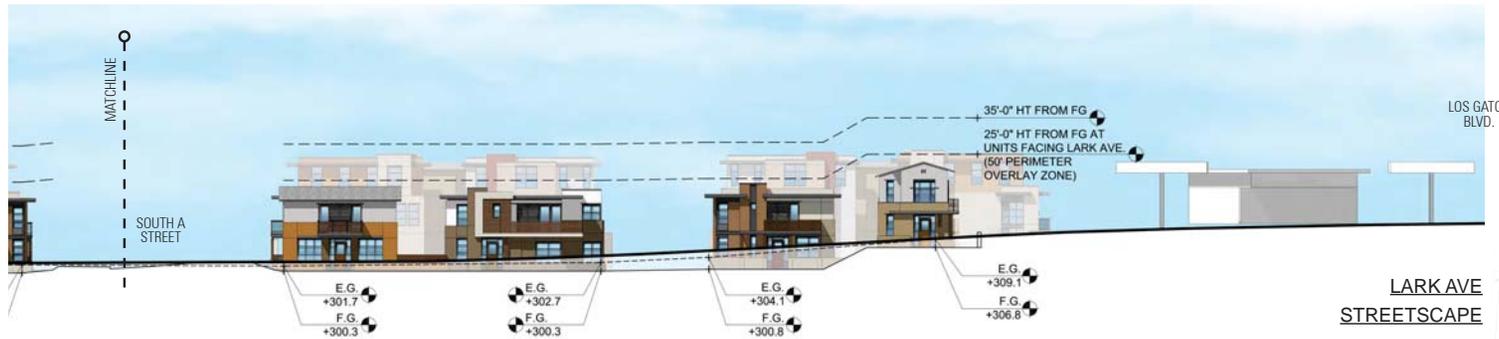


192-072

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Scale: 1/16" = 1'-0"

5.ST.7



NORTH FORTY

LOS GATOS, CA

Technical Streetscapes at Los Gatos Blvd. and Lark Ave



192-072

10.14.15

Scale: 1/16" = 1'-0"
5.ST.8



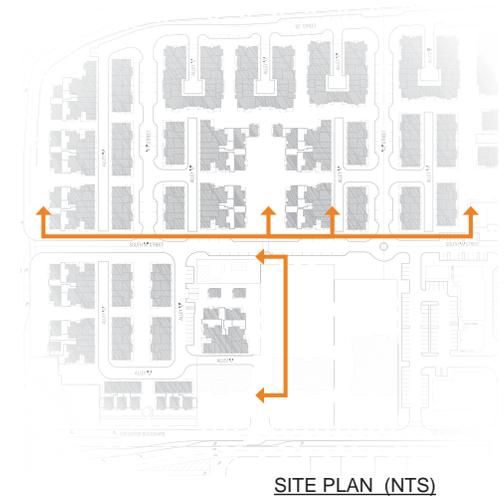
**SOUTH 'A' STREET
STREETSCAPE**



**SOUTH 'A' STREET
STREETSCAPE**



**BENNETT WAY
STREETSCAPE**



SITE PLAN (NTS)

Lark District & Transition District Area D

NORTH FORTY

LOS GATOS, CA

Technical Streetscape at Bennett Way and South 'A' Street



192-072 | 10.14.15

Scale: 1/16" = 1'-0"
5.ST.9

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"



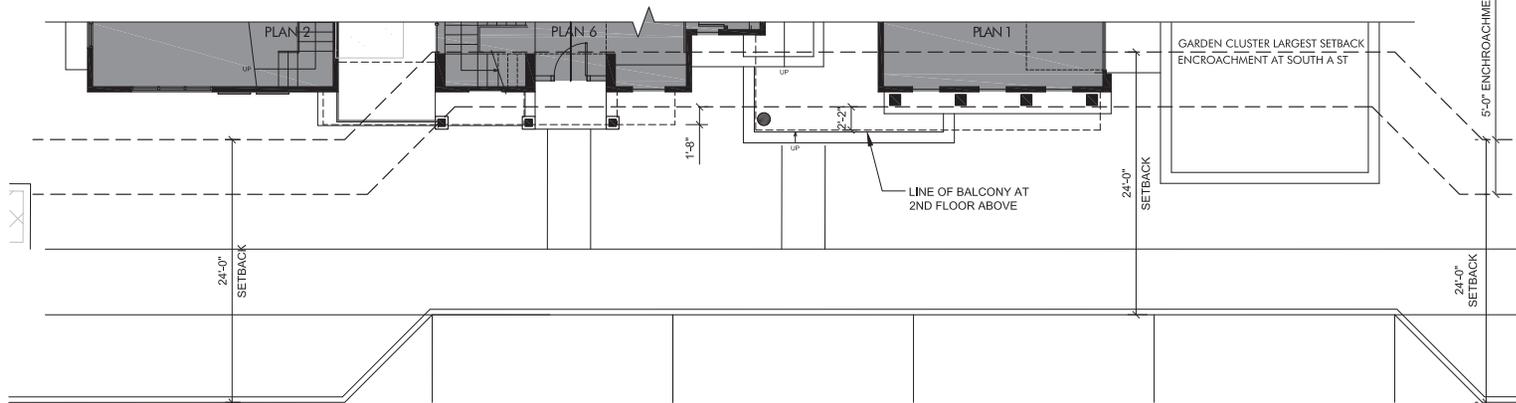
LEGEND
 BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (GARDEN CLUSTER WITH LARGEST SETBACK ENCROACHMENT SHOWN)
 BUILDING FACADE

TOTAL BUILDING FACADE ENCROACHMENT AREA = 1,105 SQ. FT.
 TOTAL BUILDING FACADE AREA = 3,233 SQ. FT.

GC-7-PLEX FACADE ENCROACHMENT PERCENTAGE:
 = 1,105 / 3,233 SQ. FT. = 34%

RIGHT SIDE ELEVATION

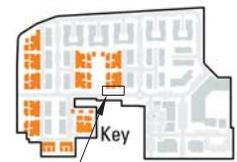
LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R1', 'R2', 'R3' & 'B' Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				



SOUTH A STREET

PLAN VIEW

LANDSCAPE NOT SHOWN FOR CLARITY. SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.



THIS GARDEN CLUSTER BUILDING FACADE HAS THE LARGEST SETBACK ENCROACHMENT OF ALL GARDEN CLUSTERS. THE SETBACK DIAGRAM IS SHOWN ON THIS SHEET

Lark District Garden Cluster Setback Diagram

NORTH FORTY

LOS GATOS, CA



192-072

10,14,15



Scale: 3/16" = 1'-0"

5.ST.10



FRONT ELEVATION

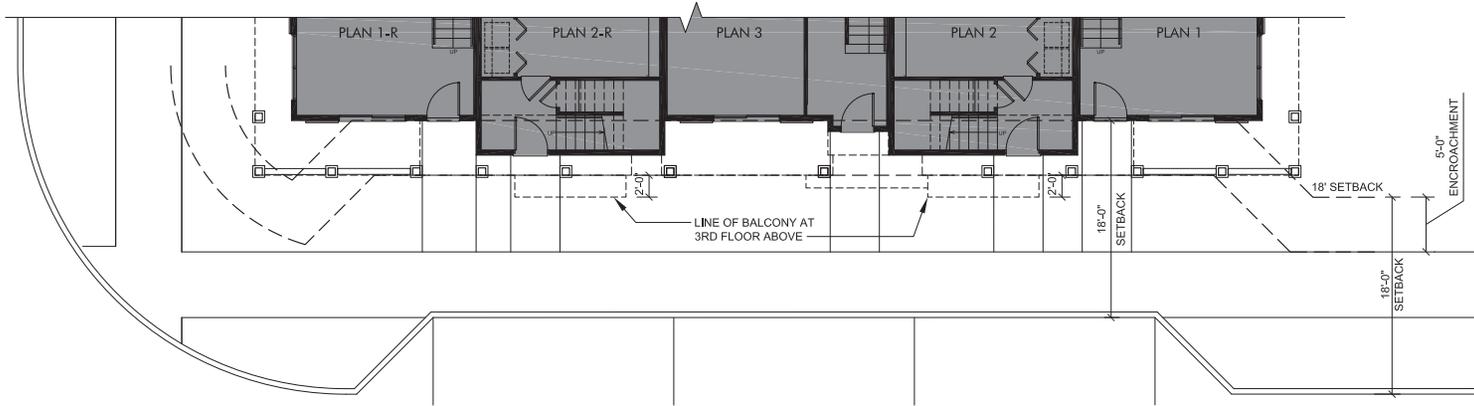
NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"

LEGEND
 BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (LARGEST SETBACK ENCROACHMENT CONDITION SHOWN FOR THIS BUILDING TYPE)
 BUILDING FACADE

TOTAL BUILDING FACADE ENCROACHMENT AREA = 1,493 SQ. FT.
 TOTAL BUILDING FACADE AREA = 3,122 SQ. FT.

RH-5-PLEX FACADE ENCROACHMENT PERCENTAGE:
 = 1,493 / 3,122 SQ. FT. = 48%



'R1' STREET

PLAN VIEW

LANDSCAPE NOT SHOWN FOR CLARITY, SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.

LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R1', 'R2', 'R3' & 'B' Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, bell courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				

Lark District & Transition District Area D Rowhome Setback Diagram

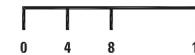
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15

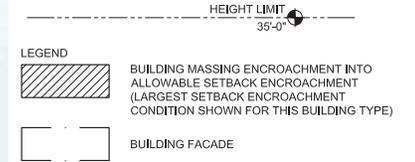


Scale: 3/16" = 1'-0"
5.ST.11



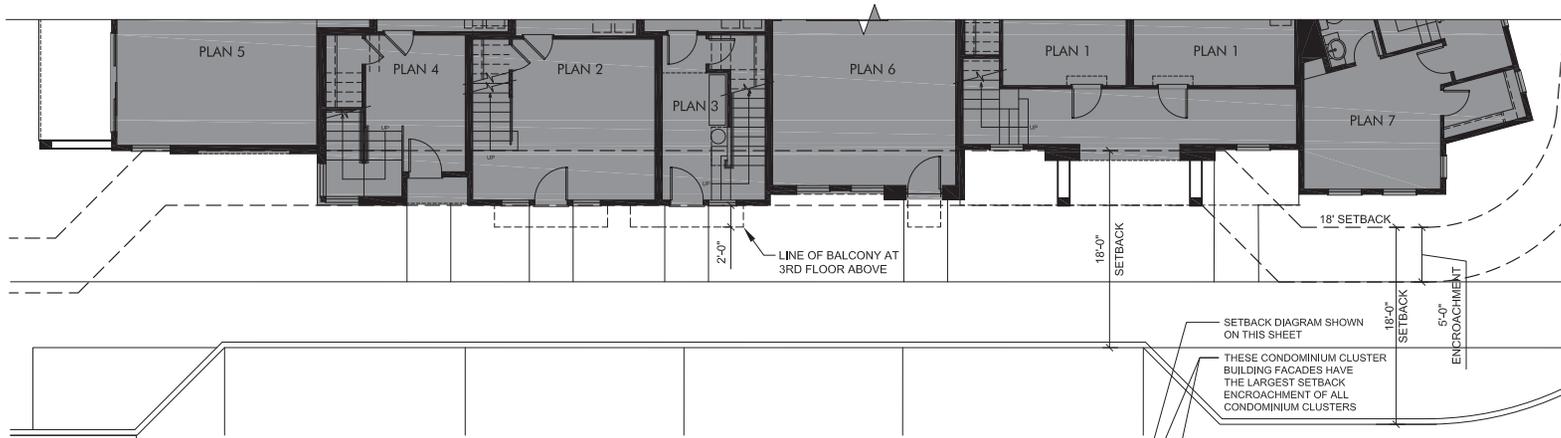
SIDE ELEVATION

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



TOTAL BUILDING FACADE ENCROACHMENT AREA = 1,939 SQ. FT.
 TOTAL BUILDING FACADE AREA = 4,618 SQ. FT.

CC-16-PLEX FACADE ENCROACHMENT PERCENTAGE:
 = 1,939 / 4,618 SQ. FT. = 42%



'R1' STREET
 PLAN VIEW

LANDSCAPE NOT SHOWN FOR CLARITY, SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.

LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R1', 'R2', 'R3' & 'B' Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				



Lark District & Transition District Area D
 Condominium Cluster
 Setback Diagram

NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
 5.ST.12

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



REAR ELEVATION

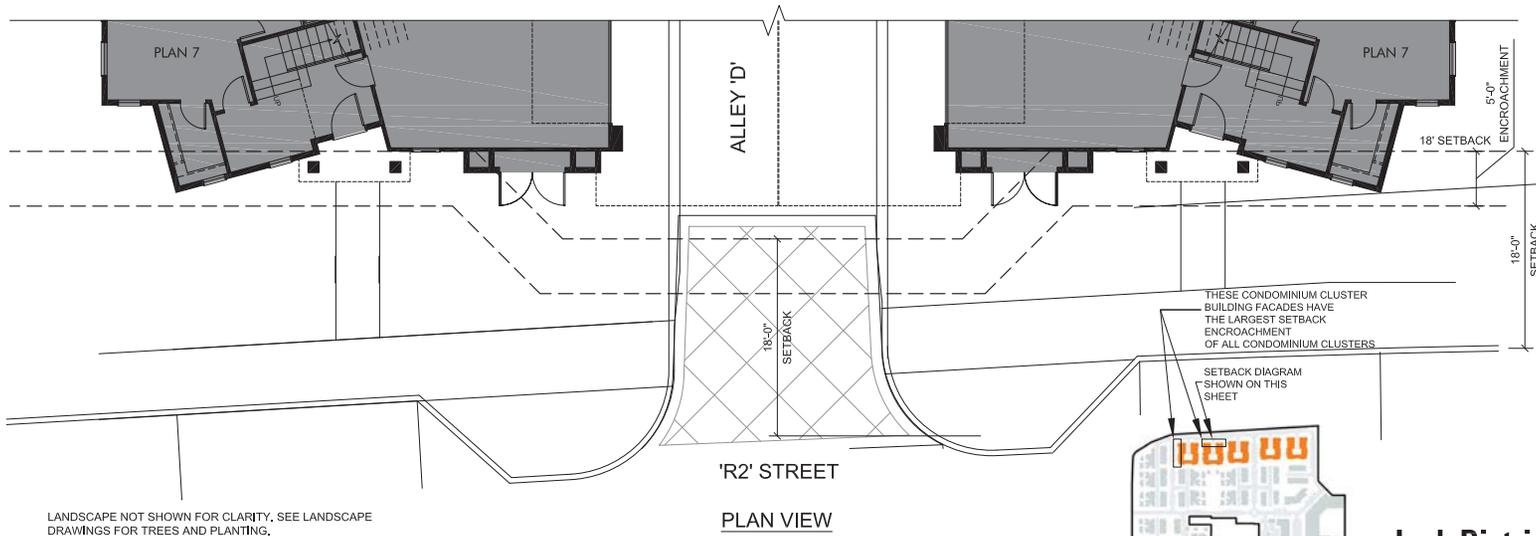
HEIGHT LIMIT
35'-0"

LEGEND

- BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (LARGEST SETBACK ENCROACHMENT CONDITION SHOWN FOR THIS BUILDING TYPE)
- BUILDING FACADE

TOTAL BUILDING FACADE ENCROACHMENT AREA = 938 SQ. FT.
TOTAL BUILDING FACADE AREA = 4,328 SQ. FT.

CC-16-PLEX FACADE ENCROACHMENT PERCENTAGE:
= 938 / 4,328 SQ. FT. = 22%



LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.**	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.**	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R1', 'R2', 'R3' & 'B' Streets	face of curb	18' min.**	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				

Lark District & Transition District Area D Condominium Cluster Setback Diagram

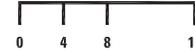
NORTH FORTY

LOS GATOS, CA



192-072

10.14.15



Scale: 3/16" = 1'-0"
5.ST.13

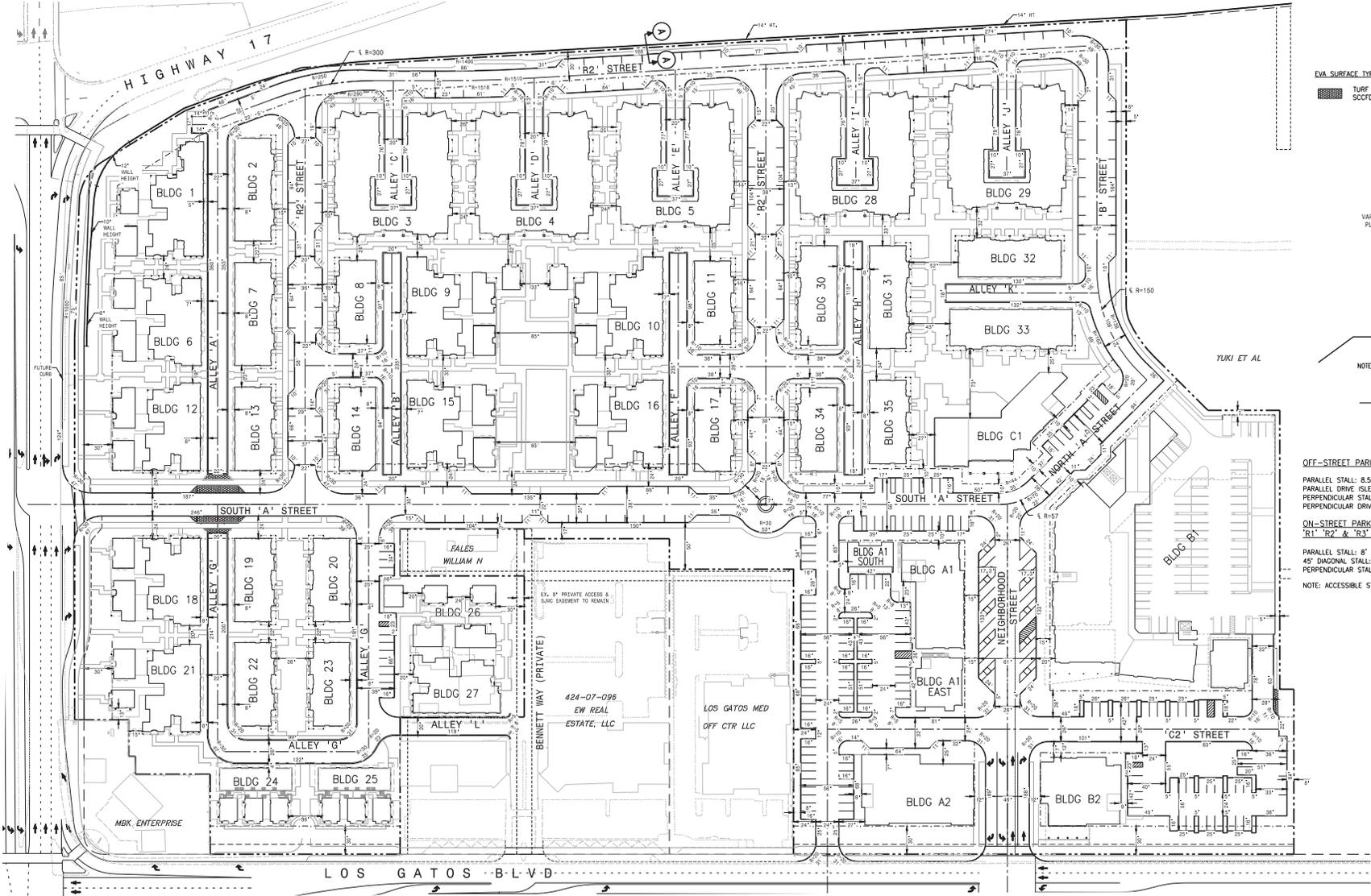
Lark District & Transition District Area D - Plan Analysis								Date
Detailed project tabulations								10/14/2015
General Information								
Site area	14.97 Acres							
Total units	257							
Overall Density	17.2 units/acre							
Open Space/Lot Coverage Calculations	See sheets 6.3, 6.4 and 6.5							
15% 2 story/25' max height requirement	See sheet 6.7 For phase 1 overall calculations and sheet 5.ST.1 for Lark District detailed breakdown							
Unit Area Calculations								
		Gross Area	Net area	Coverd Parking provided	# of plans	Total Gross Area *	# of Bedrooms	Total Bedrooms
Garden Cluster								
Building type area range 918 sq. ft. - 1998 sq. ft.	Plan 1	1214	1119	1	10	12140	1	10
	Plan 1x	1687	1546	2	4	6748	2	8
	Plan 2	1416	1305	2	10	14160	2	20
	Plan 2x	918	839	1	13	11934	1	13
	Plan 3	1722	1610	2	8	13776	2 + den	16
	Plan 4	1442	1351	1	10	14420	1 + den	10
	Plan 5	1418	1323	1	10	14180	1	10
	Plan 6	1945	1779	2	10	19450	3	30
Plan 7	1998	1789	2	10	19980	3 + den	30	
Garden Cluster Total					85	126788		147
Condominium Cluster								
Building type area range 996 sq. ft. - 1999 sq. ft.	Plan 1	996	940	2	20	19920	2	40
	Plan 2	1255	1176	1	10	12550	1 + den	10
	Plan 3	1570	1415	1	10	15700	1 + den	10
	Plan 4	1608	1477	1	10	16080	1 + den	10
	Plan 5	1832	1696	2	10	18320	2 + den	20
	Plan 6	1942	1731	2	10	19420	2 + den	20
	Plan 7	1999	1867	2	10	19990	3	30
Condominium Cluster Total					80	121980		140
Rowhomes								
Building type area range 1500 sq. ft. - 1944 sq. ft.	Plan 1	1628	1455	2	34	55352	2 + den	68
	Plan 2	1500	1393	2	35	52500	2	70
	Plan 3	1944	1742	2	23	44712	3	69
Rowhomes Total					92	152564		207
TOTALS					257	401332		494
Average sq. ft. (Gross)						1562		
Average bedroom count								1.92
Parking Calculations								
		Total Number	Required Parking	Total required	Total Provided	Tandem Percentage		
Residential Stalls (Covered)								
1 bedroom units		73	1	73	73			
2 and 2+ bedroom units		184	2	368	368			
Total				441	441	38%		
Guest Stalls								
1 bedroom units		73	0.5	36.5			Standard Stall	Handicap Stall
2 and 2+ bedroom units		184	0.5	92				
Total				128.5	129	127		2

* Gross area does not include garage per specific plan requirements

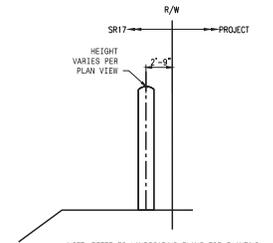
Lark District & Transition District Area D Area Analysis

GENERAL NOTES:

1. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST FOOT
2. BUILDING NUMBERS AS SHOWN MAY REPRESENT SINGLE STRUCTURES AND/OR CLUSTERS OF STRUCTURES
3. ALLEY WIDTH DIMENSIONS MEASURED FROM BACK OF CURB TO BACK OF CURB DUE TO ROLLED/WEDGE CURB TYPE
4. SIDEWALKS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SEPARATE LANDSCAPE PLAN FOR MORE DETAIL



EVA SURFACE TYPE LEGEND
 TURF BLOCK OR OTHER ACCEPTABLE SURFACE PER SCCFD REFER TO LANDSCAPE PLAN



OFF-STREET PARKING (ALLEYS, PARKING LOTS/STRUCTURES)
 PARALLEL STALL: 8.5' X 20' MIN (22' MIN. NEXT TO OBSTRUCTION)
 PARALLEL DRIVE ISLE: 24' MIN
 PERPENDICULAR STALL: 8.5' X 18' MIN (16' + 2' OVERHANG)
 PERPENDICULAR DRIVE ISLE: 24' MIN

ON-STREET PARKING ('A' ST., 'B' ST., 'C2' ST., NEIGHBORHOOD ST., 'R1' 'R2' & 'R3' ST.)
 PARALLEL STALL: 8' X 20' MIN (22' MIN. NEXT TO OBSTRUCTION)
 45° DIAGONAL STALL: 8.5' X 18.7' MIN (17.3' + 1.4' OVERHANG)
 PERPENDICULAR STALL: 8.5' X 18' MIN (16' + 2' OVERHANG)
 NOTE: ACCESSIBLE STALLS PER ADA REQUIREMENTS

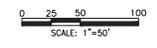
NORTH FORTY

LOS GATOS, CA

**Phase I
Dimensional Site Plan**



19756 | 10.14.2015



10-07-2015
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 J:\000000\Bays



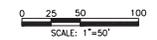
NORTH FORTY

LOS GATOS, CA

**Phase I
Lot Area Layout Plan**

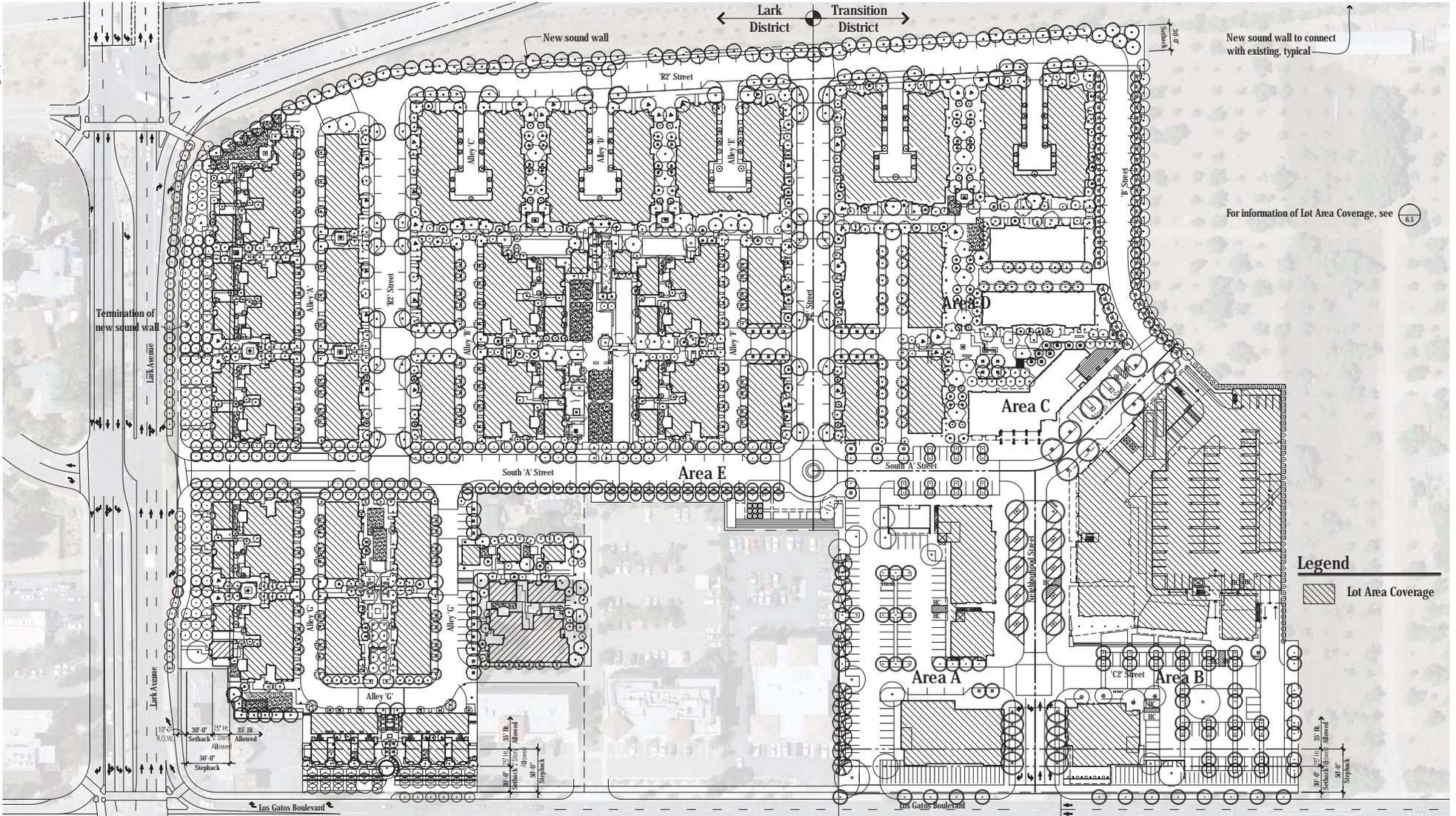


19756 | 10.14.2015



6.2

10-07-2015 8:30am
 Joseph, Ben P:\19756\NORTH FORTY\WKSHEETS\A. LOMA LAYOUT PLAN.rvt



NORTH FORTY

LOS GATOS, CA

Phase I Lot Area Coverage Diagram



FILE NAME: C:\PROJECTS\NORTH FORTY\PHASE I\NORTH FORTY PHASE I LOT AREA COVERAGE DIAGRAM.dwg
 DATE: 10/14/15
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 PROJECT: NORTH FORTY PHASE I LOT AREA COVERAGE DIAGRAM
 SHEET: NORTH FORTY PHASE I LOT AREA COVERAGE DIAGRAM (6.3)
 SCALE: AS SHOWN
 NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 4. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 5. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 6. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 7. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 8. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 9. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED. 10. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED.



Open Space Summary:

Transition District	36.4%	Complies with 30% minimum
Lark District	42.5%	Complies with 30% minimum
TOTAL PHASE I	39.7%	Complies with 30% minimum

Green Open Space Summary:

Transition District	17.3%	
Lark District	26.0%	
TOTAL PHASE I	22.0%	Complies with 20% minimum

For additional information see 

Parking Areas Landscape and Screening:

Area A Parking Lot		
Total Area	37,931 sf	
Landscape Area	7,301 sf	
% Landscape Area	19.2%	Complies with 5% minimum
Area B Parking Lot		
Total Area	28,773 sf	
Landscape Area	8,350 sf	
% Landscape Area	29.0%	Complies with 5% minimum

- Legend**
-  Green Open Space
 -  Additional Open Space (Hardscape)
 -  Private Open Space (Assumed 50% Green Open Space / 50% Hardscape at Lark District Yards)
 -  Parking lot area limit for landscape calculation
 -  Landscaped area in parking lot

NORTH FORTY

LOS GATOS, CA

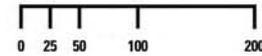
Phase I
Open Space Diagram



SWa San Francisco

GVES01

03.12.15



6.4

SITE TABULATIONS - PHASE I																			10/12/2015		
Notes: see below	LOT AREA COVERAGE				REQ'D OPEN SPACE		OPEN SPACE PROVIDED											GREEN OPEN SPACE PROVIDED			
	1	2	3	4	8	9	10	11	12	12a	13	14	15	16	17	18	19	20	21		
	Lot Area (SF)	Lot Area (Acres)	Lot Coverage (SF)	Lot Area Coverage (%)	Total Open Space Required (%)	Total Green Open Space Required (%)	Private Residential Open Space (Yards) at Grade (SF)	Common or Public Open Space At Grade (SF)	Private Residential Open Space Over Podium Parking or Roof Decks (SF)	Private Residential Open Space on Balcony or Deck (SF)	Common Residential Open Space Over Podium Parking or Roof Decks (SF)	Total Open Space (SF)	Open Space (%)	Number of Dwelling Units	Common or Public Open Space Per Unit (SF)	Private Residential Green Open Space (SF)	Common or Public Green Open Space (SF)	Total Green Open Space (SF)	Green Open Space (%)		
	43,560	SF per acre			30%	20%															
TRANSITION DISTRICT																					
Area A	Mixed-Use	86,593	1.99	19,231	22.2%	30.0%	20.0%	194	26,754	n/a	640	n/a	27,588	31.9%	10	2,675	0	12,896	12,896	14.9%	
Area B	Mixed-Use & Senior	134,592	3.09	64,217	47.7%	30.0%	20.0%	n/a	48,758	n/a	n/a	8,531	57,289	42.6%	50	1,146	0	21,199	21,199	15.8%	
Area C	Restaurant	21,000	0.48	7,182	34.2%	n/a	n/a	n/a	7,919	n/a	n/a	n/a	n/a	n/a	0	n/a	0	1,360	1,360	6.5%	
Area D	Residential	167,662	3.85	56,010	33.4%	30.0%	20.0%	0	58,642		5,600	n/a	64,242	38.3%	67	875	0	35,354	35,354	21.1%	
TRANSITION DISTRICT SUBTOTAL		409,847	9.41	146,640	35.8%	30.0%	20.0%	194	142,073	0	6,240	8,531	149,119	36.4%	127	with 100 SF min. at condo or 200 SF min. at non-condo	0	70,809	70,809	17.3%	
					complies with 50% max.									complies with 30% min.							
LARK DISTRICT																					
Area E	Residential	484,235	11.12	139,630	28.8%	30.0%	20.0%	20,369	170,588	n/a	14,975	n/a	205,932	42.5%	183	932	10,185	115,649	125,834	26.0%	
					complies with 50% max.									complies with 30% min.		complies with 200 SF min. at non-condo				complies with 20% min.	
PHASE I TOTAL		894,082	20.53	286,270	32.0%	30.1%	20.1%	20,369	312,661	0	21,215	8,531	355,051	39.7%	310	complies with 30% min.	complies with 364 max.	10,185	186,458	196,643	22.0%
					complies with 50% max.									complies with 30% min.	complies with 364 max.					complies with 20% min.	

Notes:

- 1, 2 Boundaries shown on plans
- 3 "Lot Coverage" per definition in Specific Plan Glossary = area of building footprint; gardens or plazas on top of podium parking that are a maximum of 6 feet above average finished grade will not count towards Lot Coverage; projection of balconies above are not included in calculation of coverage; covered patios are not included in calculation of coverage, provided said patio is not more than 50% enclosed
- 4 Item 3 divided by item 1; 50% maximum allowed
- 5 Per Specific Plan, additional Green Open Space is required when 35' height limit is exceeded, and shall be equal to 5% of the square footage of the building footprint that exceeds the 35' height limit
- 5* Per Specific Plan, affordable housing may exceed 35' height limit without having to provide additional Green Open Space
- 6 Item 5 times 5%
- 7 Item 6 divided by item 1
- 8 Item 7 plus 30%
- 9 Item 7 plus 20%
- 10, 12, 12a "Private Open Space" per definition in Specific Plan glossary = landscaped or hardscaped area at patio or balcony; is included in 30% Open Space requirement per Specific Plan; for additional information on Private Open Space per unit, see Transition District and Lark District Tabulations
- 10, 11, 12, 12a, 13 "Open Space" per definition in Specific Plan Glossary = open and unobstructed from ground plane to sky; balconies and roof eaves may extend over the Open Space; includes both "Green Open Space" and "Hardscape"
- 14 Sum of items 10 through 13
- 15 Item 14 divided by item 1; per Specific Plan, a minimum of 30% Open Space shall be provided within each district
- 17 Sum of items 11 and 13, divided by item 16; per Specific Plan common or public open space of 100 SF/unit minimum for residential condominiums, 200 SF/unit minimum for multi-family residential other than condominiums
- 18, 19 "Green Open Space" per definition in Specific Plan Glossary
- 20 Sum of items 18 and 19
- 21 Item 10 divided by item 1



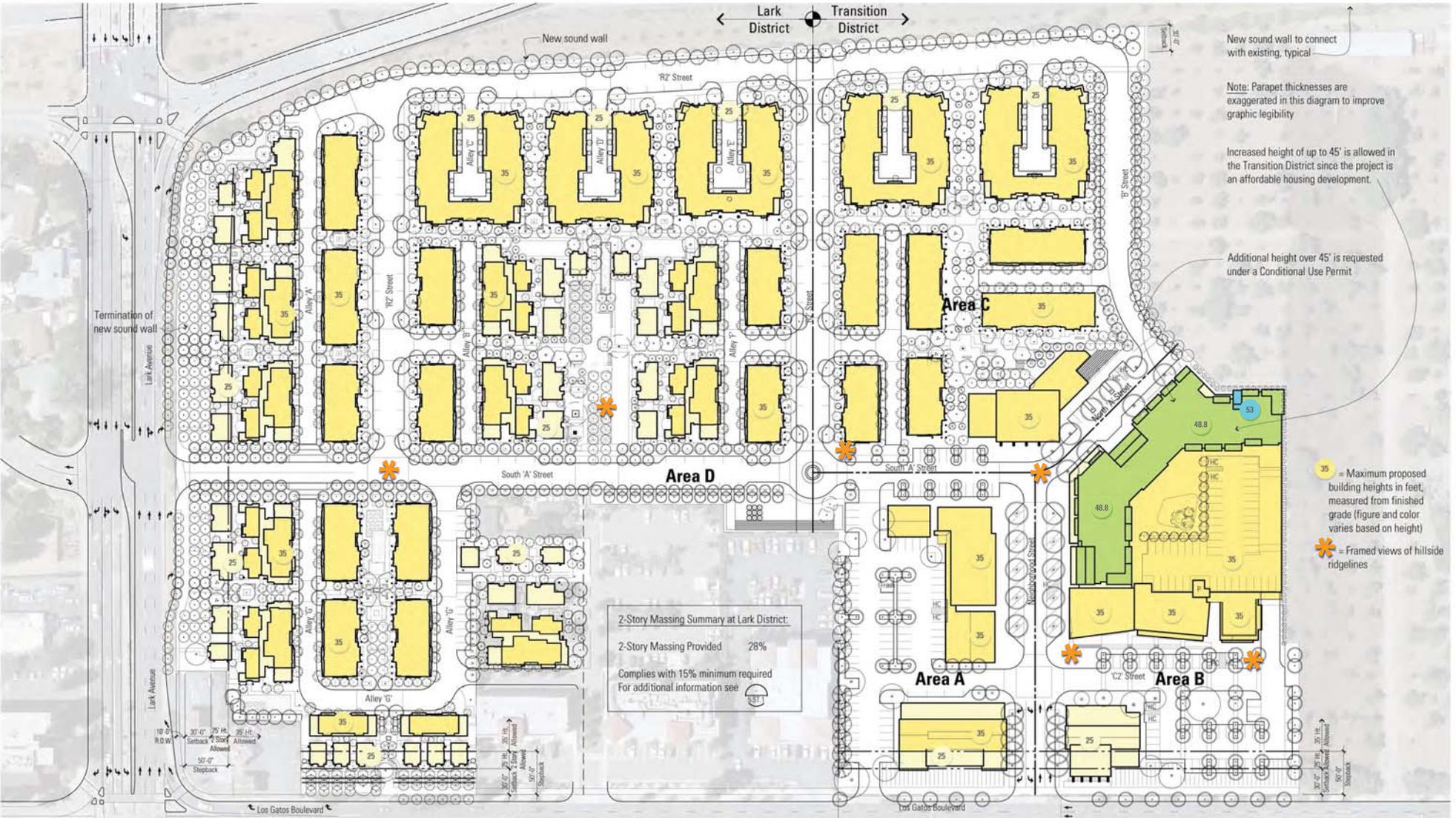
BUILDING AREA AND PARKING TABULATIONS - PHASE I																			10/12/2015	
		RESIDENTIAL UNIT SIZE MIX (Relates to Table in S.P. Glossary)						ADD'L RESID'L TABULATIONS (Add'l info not required by S.P.)			COMMERCIAL TABULATIONS (Relates to Table 2-2 in S.P.)				GARAGE AND PARKING TABULATIONS					
Notes: see below		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
		Net Unit Area Range (SF)	Gross Unit Area Range (SF)	Unit Count	Unit Percent of Total Count	Total Net Unit Area (SF)	Total Gross Unit Area (SF)	Residential Circulation and Support Area (SF)	Residential Amenity Area (SF)	Total Gross Residential Area (SF)	Specialty Market Area (SF)	Retail and Personal Service Area (SF)	Restaurant Area (SF)	Total Commercial Area (SF)	Residential Garage Area (SF)	Commercial Garage Area	Residential Stalls Provided	Residential Guest Stalls Provided	Commercial Stalls Provided	Total Parking Stalls Provided
TRANSITION DISTRICT																				
AREA 'A'																				
Building A1	Mixed-Use	720-1100	n/c	10	3.2%	9,050	10,432	1,763	0	12,195	0	8,231	2,534	11,438	0	0				
Building A2	Retail	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	7,921	0	8,221	0	0				
AREA 'B'																				
Building B1	Mixed-Use & Senior Affordable Residential	580 - 875	n/c	50	15.8%	29,395	32,303	12,735	2,773	47,811	16,174	0	1,981	22,431	18,029	64,413				
Building B2	Restaurant	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	5,483	5,745	0	0				
AREA 'C'																				
Building C1	Restaurant	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	6,862	7,158	0	0				
AREA 'D'																				
Condominium Cluster	Residential	940 - 1,870	n/c	32	10.1%	44,968	n/c	n/a	n/a	48,792	n/a	n/a	n/a	n/a	n/a	n/a	See Area 'D' tabulations for detailed info on parking		n/a	n/a
Rowhome	Residential	n/c	1,500 - 1,944	35	11.0%	n/c	58,476	n/a	n/a	58,476	n/a	n/a	n/a	n/a	n/a	n/a			n/a	n/a
TRANSITION DISTRICT SUBTOTAL																				
				127	40.1%	83,413	101,211	14,498	2,773	167,274	16,174	16,152	16,860	54,993	18,029	64,413	39	5	309	353
LARK DISTRICT																				
AREA 'E'																				
Courtyard Cluster	Residential	940 - 1,870	n/c	48	15.1%	67,452	n/a	n/a	n/a	73,188	n/a	n/a	n/a	n/a	n/a	n/a	See Lark District tabulations for detailed info on parking		n/a	n/a
Garden Cluster	Residential	n/c	918 - 1,998	85	26.8%	n/c	126,788	n/a	n/a	126,788	n/a	n/a	n/a	n/a	n/a	n/a			n/a	n/a
Rowhome	Residential	n/c	1,500 - 1,944	57	18.0%	n/c	94,088	n/a	n/a	94,088	n/a	n/a	n/a	n/a	n/a	n/a			n/a	n/a
LARK DISTRICT SUBTOTAL																				
				190	59.9%	67,452	220,876			294,064							319	95	0	414
PHASE I TOTAL																				
				317	100.0%	150,865	322,087	14,498	2,773	461,338	16,174	16,152	16,860	49,186	18,029	64,413	358	100	309	767
				complies with 364 max.		complies with 300,000 SF max.	complies with 400,000 SF max.							complies with 400,000 SF max.						

Notes:
 For detailed Lark District & Transition District Area 'D' tabulations, see sheet 5.ST.14
 For detailed Transition District tabulations, see sheet 3.24 and 3.25
 n/a = not applicable
 n/c = not calculated per Specific Plan requirements

- 1.5 "Net unit area" per definition in Specific Plan Glossary = floor area of conditioned space measured to inside face of the exterior walls or party walls, including interior partitions, excluding shafts
- 2.6 "Gross unit area" per definition in Specific Plan Glossary; garages are excluded
- 3 Number of dwelling units
- 4 Item 3 divided by total number of dwelling units
- 7 Residential corridors, stairs, elevators and lobbies
- 8 Residential common amenities including pool restrooms/showers, club room, possible concierge, management and maintenance staff space

Maximum Development Capacity Calculation per Specific Plan Section 2.5.1:	
Existing Non-Residential SF	66,000
Maximum Allowed Non-Residential SF	580,000
Balance of Allowed Development Capacity	464,814

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2-Story Massing Summary at Lark District:

2-Story Massing Provided	28%
Complies with 15% minimum required	
For additional information see	

New sound wall to connect with existing, typical

Note: Parapet thicknesses are exaggerated in this diagram to improve graphic legibility

Increased height of up to 45' is allowed in the Transition District since the project is an affordable housing development.

Additional height over 45' is requested under a Conditional Use Permit

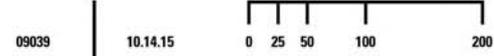
35 = Maximum proposed building heights in feet, measured from finished grade (figure and color varies based on height)

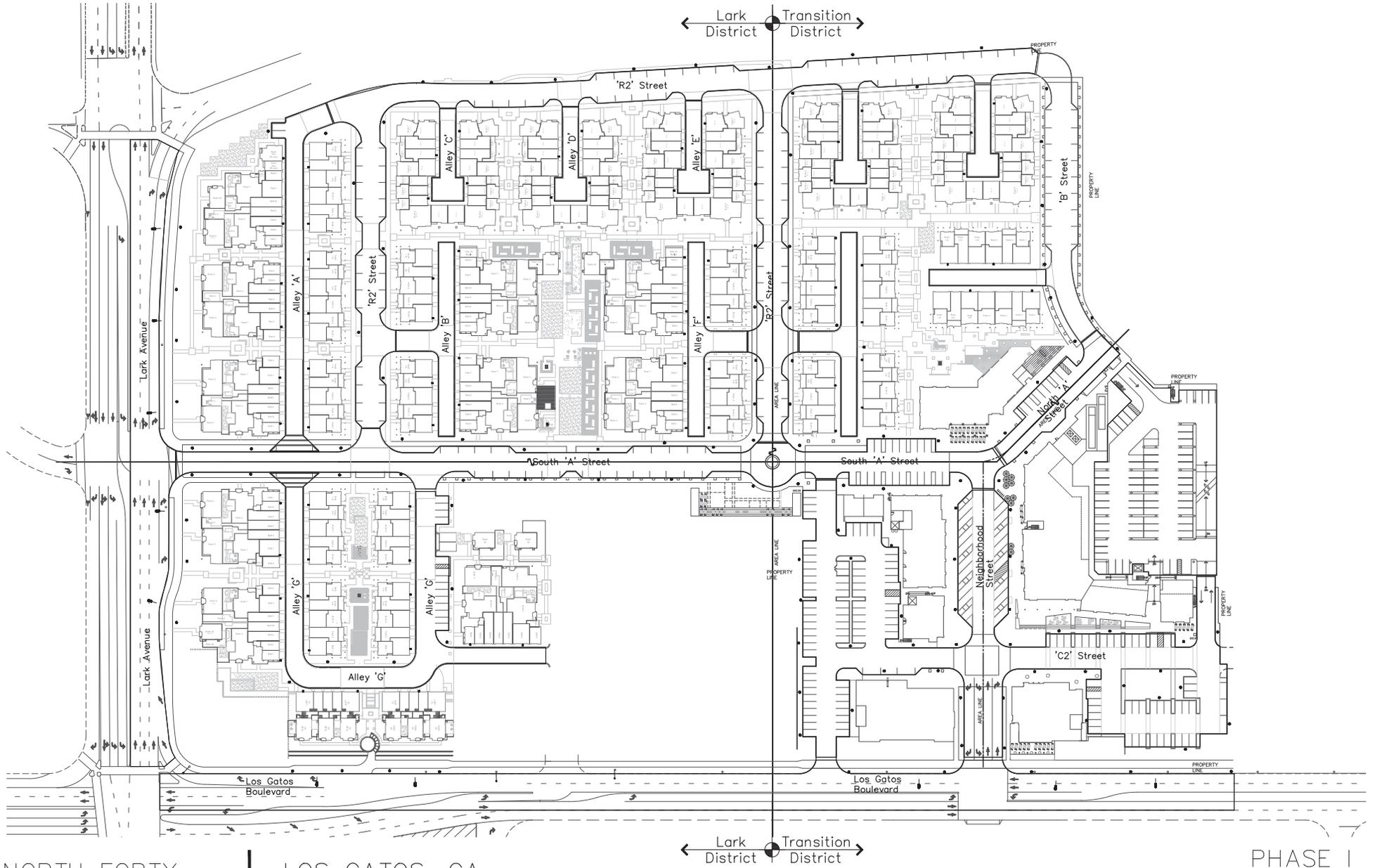
★ = Framed views of hillside ridgelines

NORTH FORTY

LOS GATOS, CA

Phase I
Maximum Proposed Building Heights Diagram





NORTH FORTY

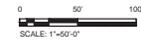
LOS GATOS, CA

PHASE I
OVERALL LIGHTING LAYOUT



2014-0082

10/14/2015



6.8

SHEET KEYNOTES

- AVERAGE ILLUMINANCES MEET IESNA REQUIREMENTS BELOW:
 LOCAL ROADS/LOW TRAFFIC (R5/R6) AV HORIZ. 0.4FC, LOCAL
 ROADS/MEDIUM TRAFFIC (R6/R7) AV HORIZ. 0.7FC, PARKING
 LOTS MIN. HORIZ. 0.5FC.

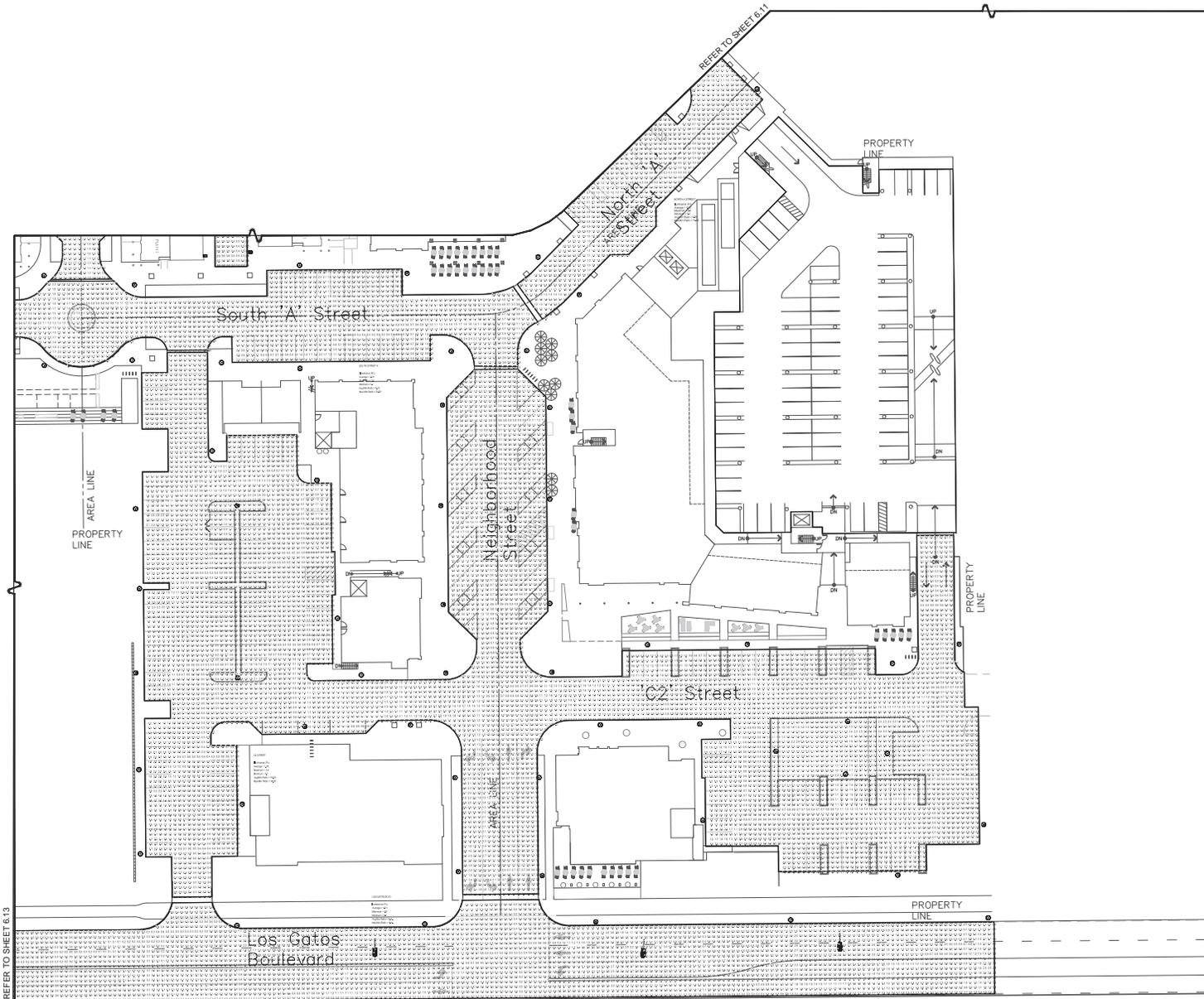
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY 1	Illuminance	FC	0.82	2.7	0.1	8.20	27.00
ALLEY 2	Illuminance	FC	0.43	1.2	0.1	4.30	12.00
ALLEY 3	Illuminance	FC	0.42	1.2	0.1	4.20	12.00
ALLEY 4	Illuminance	FC	0.44	1.9	0.0	N.A.	N.A.
ALLEY A	Illuminance	FC	0.47	2.4	0.0	N.A.	N.A.
ALLEY B	Illuminance	FC	0.41	1.2	0.0	N.A.	N.A.
ALLEY C	Illuminance	FC	0.41	1.2	0.1	4.10	12.00
ALLEY D	Illuminance	FC	0.42	1.2	0.1	4.20	12.00
ALLEY E	Illuminance	FC	0.26	1.1	0.0	N.A.	N.A.
ALLEY F	Illuminance	FC	0.52	1.9	0.1	5.20	18.00
ALLEY G	Illuminance	FC	0.51	2.8	0.0	N.A.	N.A.
B STREET	Illuminance	FC	0.92	3.0	0.2	4.60	15.00
CJ STREET	Illuminance	FC	1.03	3.4	0.1	10.30	34.00
LARK AVE	Illuminance	FC	0.93	3.4	0.0	N.A.	N.A.
LARK AVE_5	Illuminance	FC	0.02	1.0	0.0	N.A.	N.A.
LOS GATOS BLVD	Illuminance	FC	1.21	9.6	0.0	N.A.	N.A.
NORTH A STREET	Illuminance	FC	0.93	2.9	0.2	4.65	14.50
R2 STREET	Illuminance	FC	0.70	2.1	0.1	7.00	31.00
SOUTH STREET A	Illuminance	FC	0.91	3.0	0.1	9.10	30.00

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	TOTAL Lamp Lumens	TLP	Description	Mounting Height
4	125, 208, R3 DG		SINGLE	22000	0.750	Boasting Cobrahead	15' along Los Gatos and Lark Av, 20 feet parking and local r
78	LM20551 (1)		SINGLE	N.A.	0.900	Philips LPT7 LED WALL SCENCE or equal	
10	VC Q3-40P-M0-M8-2-GI-53		SINGLE	N.A.	0.900	Leotec B-Cobra	
129	lmh10x35-6014e		SINGLE	N.A.	0.900	KIM Lighting Bounce or equal	

Bounce® LED with PicoEmitter® & MiniBounce LED Pole and Wall Mounted Luminaires

GENERAL INFORMATION (continued)

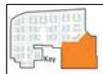
Model	Power (W)	Beam Angle	Height (ft)	Mounting
BL10-100-100	100	100°	100	100
BL10-100-120	100	120°	100	100
BL10-100-150	100	150°	100	100
BL10-100-200	100	200°	100	100
BL10-100-300	100	300°	100	100
BL10-100-400	100	400°	100	100
BL10-100-600	100	600°	100	100
BL10-100-900	100	900°	100	100
BL10-100-1200	100	1200°	100	100
BL10-100-1800	100	1800°	100	100
BL10-100-2700	100	2700°	100	100
BL10-100-3600	100	3600°	100	100
BL10-100-5400	100	5400°	100	100
BL10-100-7200	100	7200°	100	100
BL10-100-10800	100	10800°	100	100
BL10-100-14400	100	14400°	100	100
BL10-100-21600	100	21600°	100	100
BL10-100-28800	100	28800°	100	100
BL10-100-43200	100	43200°	100	100
BL10-100-57600	100	57600°	100	100
BL10-100-86400	100	86400°	100	100
BL10-100-115200	100	115200°	100	100
BL10-100-172800	100	172800°	100	100
BL10-100-230400	100	230400°	100	100
BL10-100-307200	100	307200°	100	100
BL10-100-412800	100	412800°	100	100
BL10-100-549600	100	549600°	100	100
BL10-100-732800	100	732800°	100	100
BL10-100-977600	100	977600°	100	100
BL10-100-1300800	100	1300800°	100	100
BL10-100-1734400	100	1734400°	100	100
BL10-100-2312000	100	2312000°	100	100
BL10-100-3083200	100	3083200°	100	100
BL10-100-4110400	100	4110400°	100	100
BL10-100-5446400	100	5446400°	100	100
BL10-100-7262400	100	7262400°	100	100
BL10-100-9683200	100	9683200°	100	100
BL10-100-12811200	100	12811200°	100	100
BL10-100-16976000	100	16976000°	100	100
BL10-100-22496000	100	22496000°	100	100
BL10-100-29824000	100	29824000°	100	100
BL10-100-39760000	100	39760000°	100	100
BL10-100-52672000	100	52672000°	100	100
BL10-100-70240000	100	70240000°	100	100
BL10-100-92320000	100	92320000°	100	100
BL10-100-121984000	100	121984000°	100	100
BL10-100-162624000	100	162624000°	100	100
BL10-100-216832000	100	216832000°	100	100
BL10-100-288000000	100	288000000°	100	100
BL10-100-381120000	100	381120000°	100	100
BL10-100-505280000	100	505280000°	100	100
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BL10-100-9193600000000	100	9193600000000°	100	100
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BL10-100-255680000000000	100	255680000000000°	100	100
BL10-100-335520000000000	100	335520000000000°	100	100
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BL10-100-1763200000000000	100	1763200000000000°	100	100
BL10-100-2326400000000000	100	2326400000000000°	100	100
BL10-100-3057600000000000	100	3057600000000000°	100	100
BL10-100-4012800000000000	100	4012800000000000°	100	100
BL10-100-5260800000000000	100	5260800000000000°	100	100
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NORTH FORTY

LOS GATOS, CA

TRANSITION DISTRICT
AREAS A AND B PHOTOMETRICS

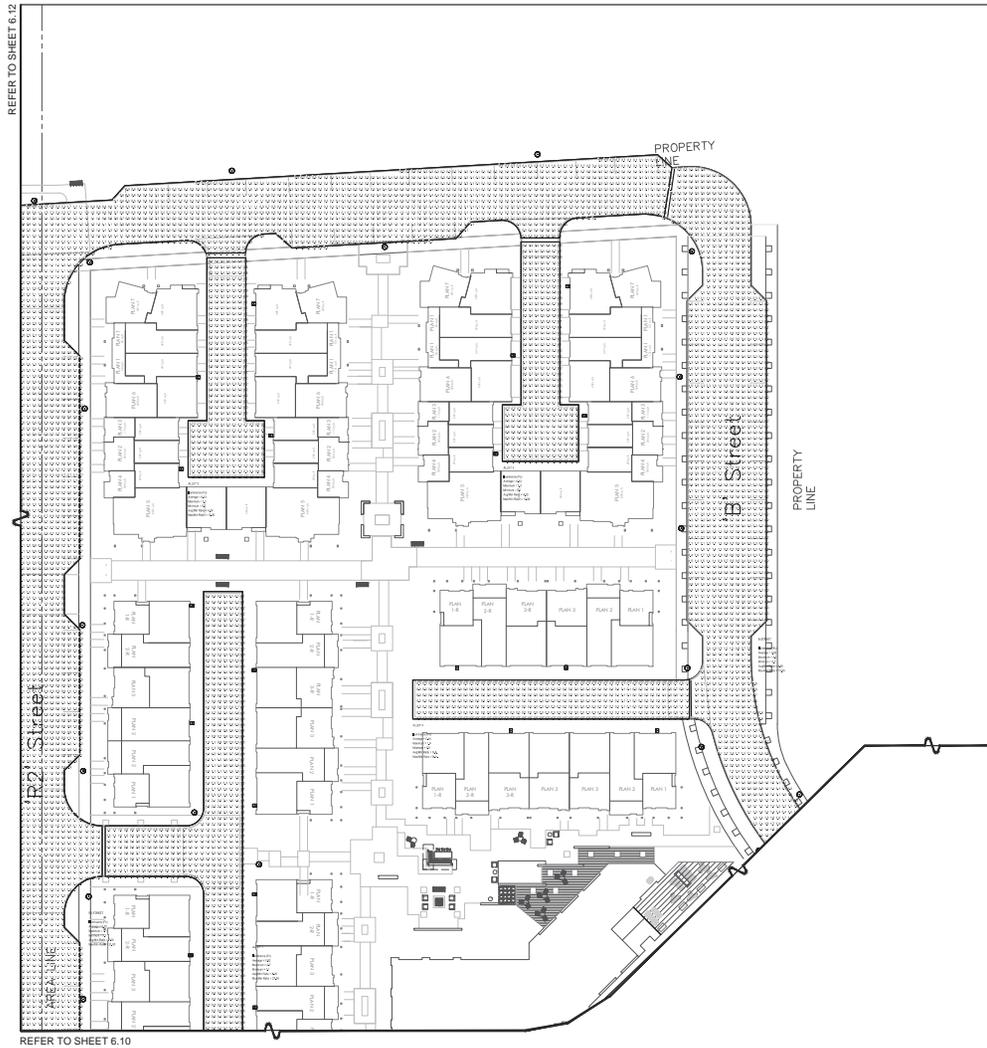


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NORTH FORTY

LOS GATOS, CA

TRANSITION DISTRICT
AREA C PHOTOMETRICS

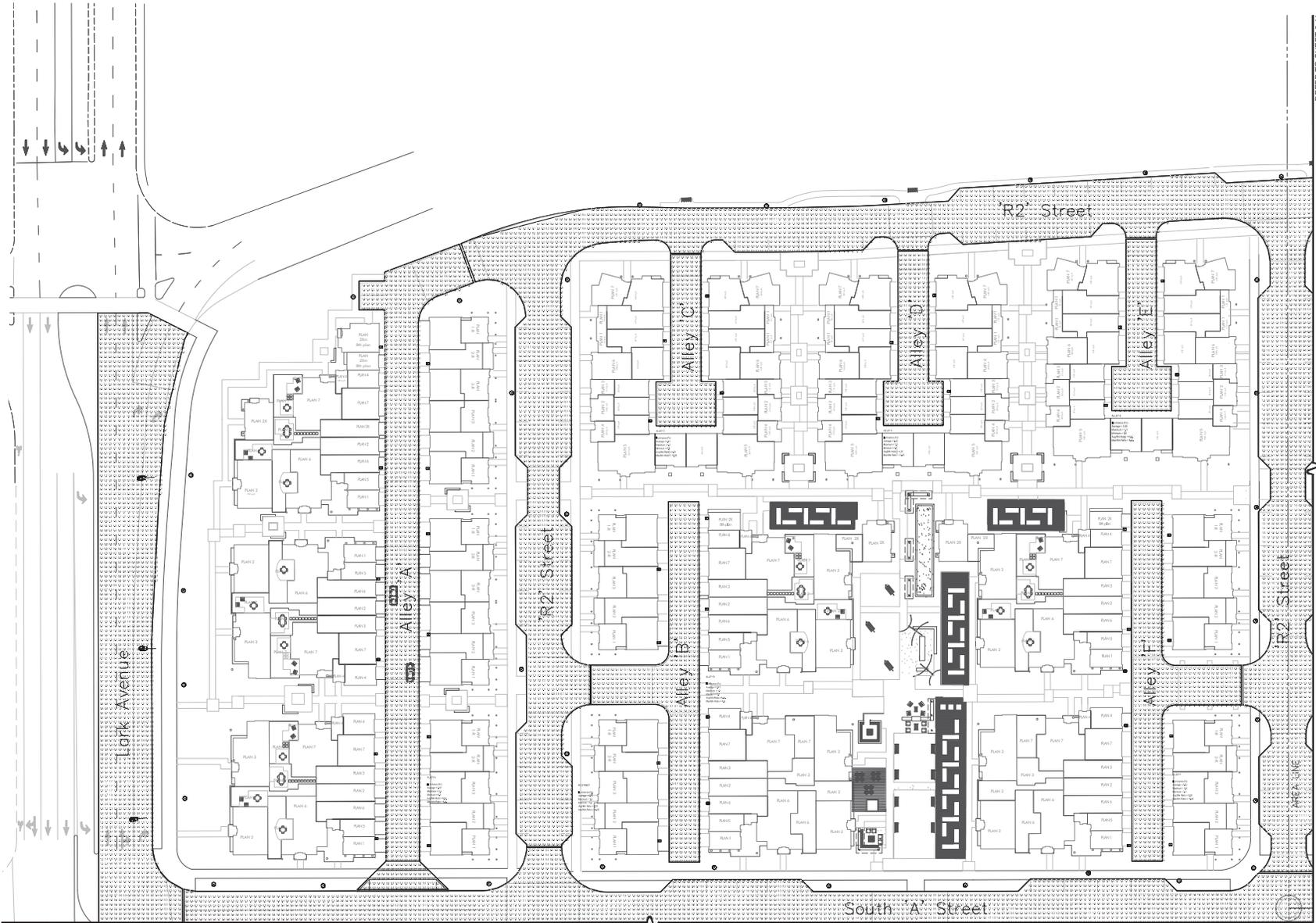


2014-0082

10/14/2015



6.11



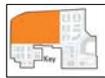
REFER TO SHEET 6.13

REFER TO SHEET 6.11

NORTH FORTY

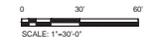
LOS GATOS, CA

LARK DISTRICT
WEST PHOTOMETRICS



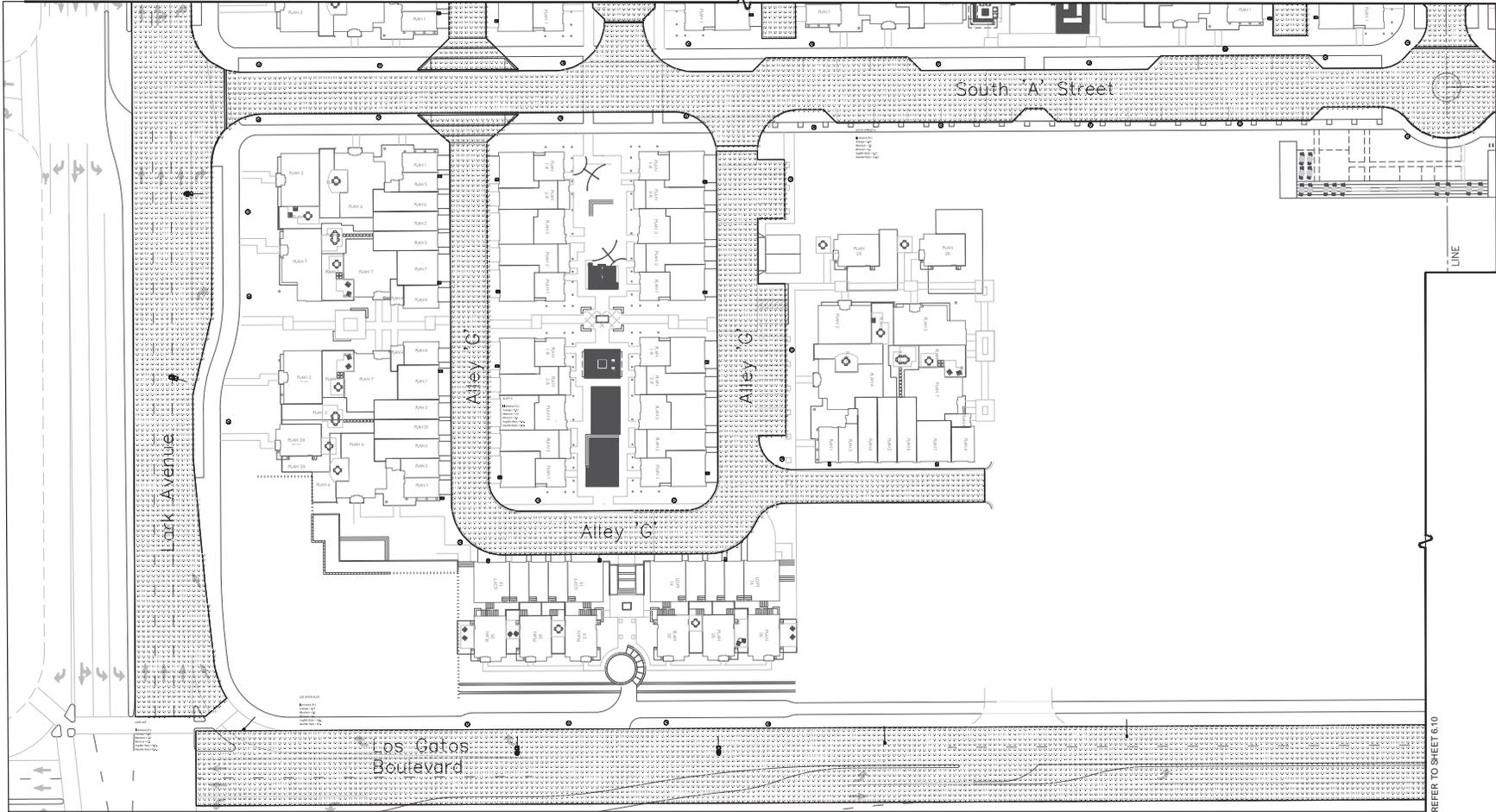
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REFER TO SHEET 6.12

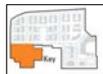


REFER TO SHEET 6.10

NORTH FORTY

LOS GATOS, CA

LARK DISTRICT
EAST PHOTOMETRICS



2014-0082

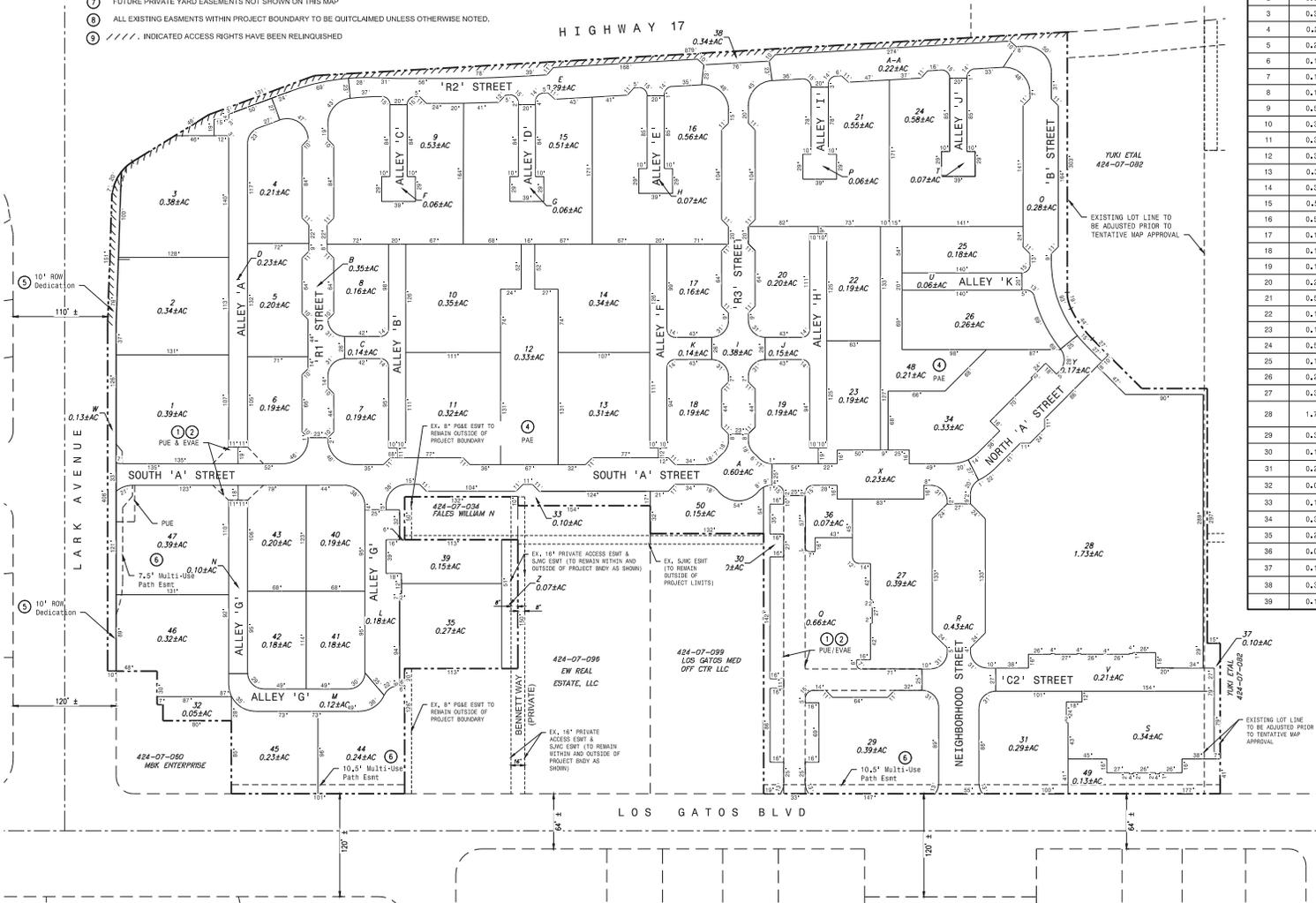
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6.13

PLAN NOTES:

- ① EMERGENCY VEHICLE ACCESS EASEMENTS (EVAE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS, TYPICAL.
- ② PUBLIC UTILITY EASEMENTS (PUE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS AND OTHER LOCATIONS IDENTIFIED ON THIS MAP.
- ③ PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER STREETS AND SIDEWALKS
- ④ PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER CENTRAL PARK OPEN SPACE AREA, (PARCEL 12 & 48)
- ⑤ 10' WIDE STRIP OF LAND ALONG LARK AVE FRONTAGE SHALL BE DEDICATED TO TOWN OF LOS GATOS.
- ⑥ MULTI-USE PATH EASEMENT TO BE DEDICATED TO TOWN OF LOS GATOS ALONG LOS GATOS BLVD. AND LARK AVE. FRONTAGE
- ⑦ FUTURE PRIVATE YARD EASEMENTS NOT SHOWN ON THIS MAP
- ⑧ ALL EXISTING EASEMENTS WITHIN PROJECT BOUNDARY TO BE QUITCLAIMED UNLESS OTHERWISE NOTED.
- ⑨ - - - - - INDICATED ACCESS RIGHTS HAVE BEEN RELINQUISHED



Parcel #	Area (ac.)	Designation	Unit Count
1	0.39	Residential	7
2	0.34	Residential	7
3	0.38	Residential	8
4	0.21	Residential	6
5	0.20	Residential	6
6	0.19	Residential	5
7	0.19	Residential	5
8	0.16	Residential	5
9	0.53	Residential	16
10	0.35	Residential	8
11	0.32	Residential	7
12	0.33	Park	N/A
13	0.31	Residential	7
14	0.34	Residential	8
15	0.51	Residential	16
16	0.56	Residential	16
17	0.16	Residential	5
18	0.19	Residential	5
19	0.19	Residential	5
20	0.20	Residential	6
21	0.55	Residential	16
22	0.19	Residential	5
23	0.19	Residential	5
24	0.33	Residential	6
25	0.18	Residential	6
26	0.26	Residential	7
27	0.39	Retail/Residential	N/A
28	1.73	Residential Over Retail & Parking	50
29	0.39	Retail	N/A
30	0.10	Open Space	N/A
31	0.29	Retail	N/A
32	0.05	Open Space	N/A
33	0.10	Open Space	N/A
34	0.33	Retail	N/A
35	0.27	Residential	7
38	0.07	Retail/Residential	10
39	0.14	Open Space	N/A
38	0.34	Open Space	N/A
39	0.15	Residential	2

Parcel #	Area (ac.)	Designation	Unit Count
40	0.19	Residential	5
41	0.18	Residential	5
42	0.18	Residential	5
43	0.20	Residential	5
44	0.24	Residential	5
45	0.23	Residential	5
46	0.32	Residential	7
47	0.39	Residential	7
48	0.21	Park	N/A
49	0.13	Open Space	N/A
50	0.15	Open Space	N/A
A	0.60	'A' St	N/A
A-A	0.22	'R2' Street	N/A
B	0.39	'H1' St	N/A
C	0.14	Alley	N/A
D	0.23	Alley	N/A
E	0.29	'R2' St	N/A
F	0.06	Alley	N/A
G	0.08	Alley	N/A
H	0.07	Alley	N/A
I	0.38	'R3' Street	N/A
J	0.15	Alley	N/A
K	0.14	Alley	N/A
L	0.18	Alley	N/A
U	0.12	Alley	N/A
N	0.10	Alley	N/A
O	0.28	'B' Street / 'R2' Street	N/A
P	0.06	Alley	N/A
Q	0.66	Parking Lot	N/A
R	0.43	Neighborhood St	N/A
S	0.34	Parking Lot	N/A
T	0.07	Alley	N/A
U	0.06	Alley	N/A
V	0.21	'C2' Street	N/A
W	0.13	Right-of-way	N/A
X	0.23	'A' St	N/A
Y	0.17	'A' St	N/A
Z	0.07	Right-of-way	N/A

NORTH FORTY

LOS GATOS, CA

Phase I Parcel Layout Plan

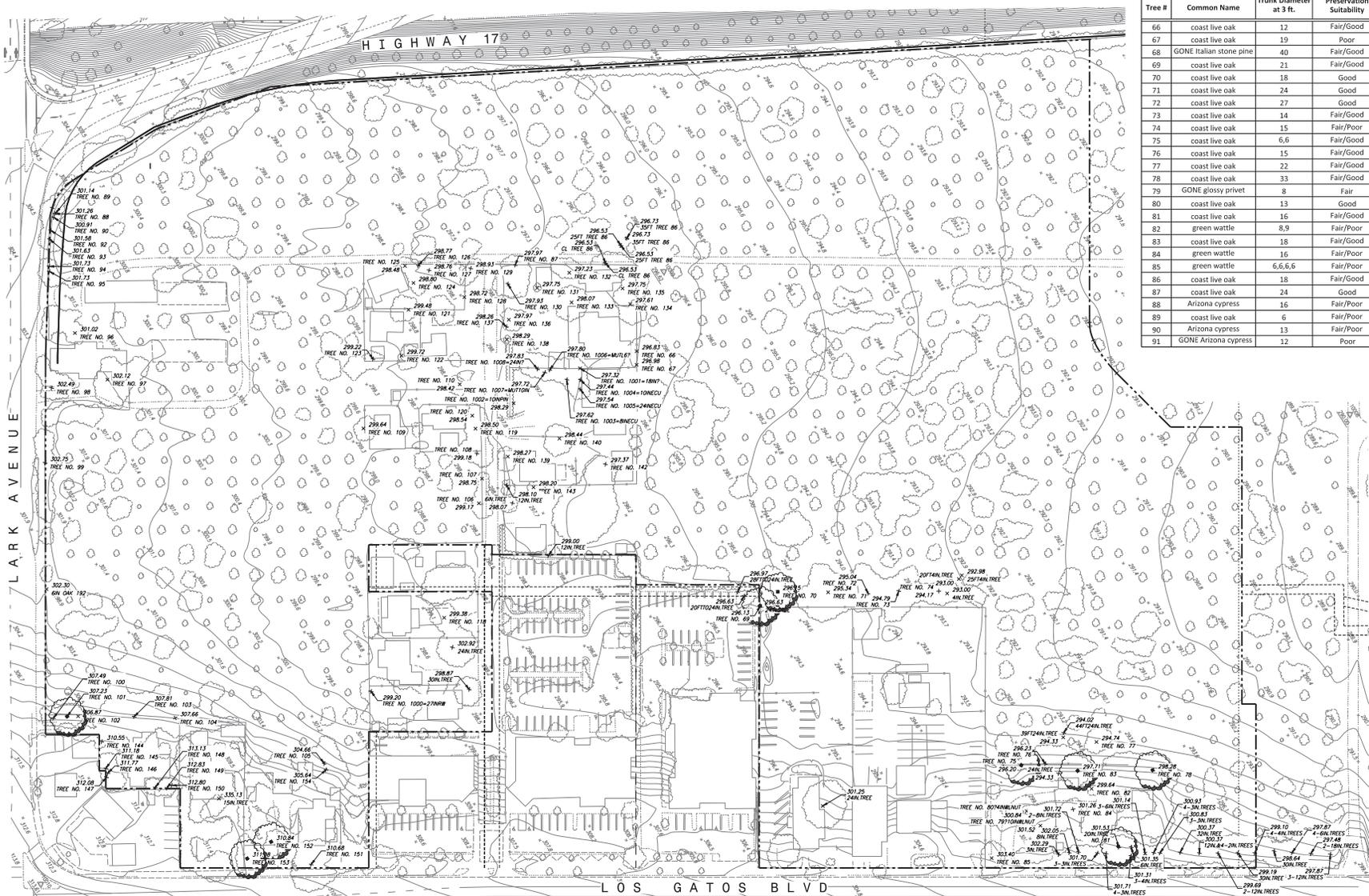


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Tree #	Common Name	Trunk Diameter at 3 ft.	Preservation Suitability
66	coast live oak	12	Fair/Good
67	coast live oak	19	Poor
68	GONE Italian stone pine	40	Fair/Good
69	coast live oak	21	Fair/Good
70	coast live oak	18	Good
71	coast live oak	24	Good
72	coast live oak	27	Good
73	coast live oak	14	Fair/Good
74	coast live oak	15	Fair/Good
75	coast live oak	6.6	Fair/Good
76	coast live oak	15	Fair/Good
77	coast live oak	22	Fair/Good
78	coast live oak	33	Fair/Good
79	GONE glossy privet	8	Fair
80	coast live oak	13	Good
81	coast live oak	16	Fair/Good
82	green wattle	8.9	Fair/Poor
83	coast live oak	18	Fair/Good
84	green wattle	16	Fair/Poor
85	green wattle	6.6,6.6	Fair/Poor
86	coast live oak	18	Fair/Good
87	coast live oak	24	Good
88	Arizona cypress	16	Fair/Poor
89	coast live oak	6	Fair
90	Arizona cypress	13	Fair/Poor
91	GONE Arizona cypress	12	Poor

Tree #	Common Name	Trunk Diameter at 3 ft.	Preservation Suitability
92	Arizona cypress	12.5	Poor
93	coast live oak	14 (2)	Fair/Good
94	Arizona cypress	9	Fair/Good
95	Chinese elm	6	Fair/Good
96	coast live oak	15	Fair/Good
97*	Calif. pepper	51 (4)	Unacceptable
98	London plane	15	Fair/Good
99	Chinese elm	7.6,6	Fair/Poor
100	pistache (fruiting)	8.10	Fair
101	coast live oak	13.5	Fair/Good
102	coast live oak	16 (2.5)	Fair
103	coast live oak	33	Good
104	coast live oak	19	Good
105	coast live oak	20	Fair
106	Calif. pepper	29	Fair/Good
107	black acacia	6	Fair
108	Calif. pepper	40	Fair
109	coast live oak	20	Good
110	toyon	10.8	Fair/Good
118	incense cedar	25	Fair/Poor
119	fruitless mulberry	9 (4)	Fair
120	glossy privet	13	Fair
121	glossy privet	10	Fair
122	incense cedar	23	Good
123	coast live oak	15	Good
124	glossy privet	18*3.5	Fair/Poor
125	glossy privet	12.8,5*4	Fair/Poor
126	glossy privet	4.6,4*3.2	Fair/Poor
127	olive	18 (2.5)	Fair/Poor
128	green wattle	7.6,6.4,4	Fair
129	redwood	28	Fair/Poor
130	coast live oak	16	Good/Excellent
131	Calif. fan palm	19	Good
132	Calif. fan palm	23	Good
133	camphor	33	Fair/Poor
134	deodar cedar	26	Fair
135	black locust	23	Poor
136	coast live oak	15	Fair/Good
137	Calif. fan palm	13	Fair
138	Calif. fan palm	23	Good
139	chinaberry	19	Fair/Good
140	black walnut	19	Poor
141	GONE Monterey pine	0	Fair
142	black walnut	26	Poor
143	coast live oak	10	Fair/Good
144	Arizona cypress	9	Fair/Poor
145	Arizona cypress	8	Fair/Poor
146	Arizona cypress	12	Fair
147	Arizona cypress	8	Fair/Poor
148	Arizona cypress	4	Fair/Poor
149	Arizona cypress	7.6	Fair/Poor
150	Arizona cypress	6	Fair
151	deodar cedar	37	Fair
152	deodar cedar	19	Fair/Good
153	coast live oak	13.6	Fair/Good
154	GONE Calif. pepper	31	Fair/Good
180	blue gum	13	Poor
181	blue gum	9.9,8	Fair/Poor
182	coast live oak	18	Good
183	glossy privet	60*1-8	Fair/Good
184	juniper	10	Fair
185	glossy privet	4,4,3,3	Fair/Good
186	glossy privet	9	Fair
187	bigleaf maple	9	Good
188	Crape myrtle	8.6,4,3,3,4,5,4	Fair
189	incense cedar	31	Good
190	glossy privet	8.6,4	Fair/Poor
191	coast live oak	8 (1.5)	Fair/Good
192	coast live oak	5	Good
193	Hollywood juniper	13	Fair/Poor
194	Hollywood juniper	16	Fair/Poor
195	coast live oak	18	Fair

LEGEND:



TREE TO BE SAVED (REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)

NOTES:

1. ARBORIST REPORT BY DEBORAH ELLIS, MS CONSULTING ARBORIST AND HORTICULTURIST DATED 10/14/2013. ALL TREES WILL BE REMOVED UNLESS NOTED OTHERWISE.
2. ALL TREES NOTED WITHOUT A TREE NUMBER WERE LOCATED BY MACKAY & SOMPS BUT NEED TO BE REVIEWED BY THE CITY ARBORIST.

NORTH FORTY

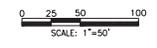
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Phase I Tree Disposition Plan



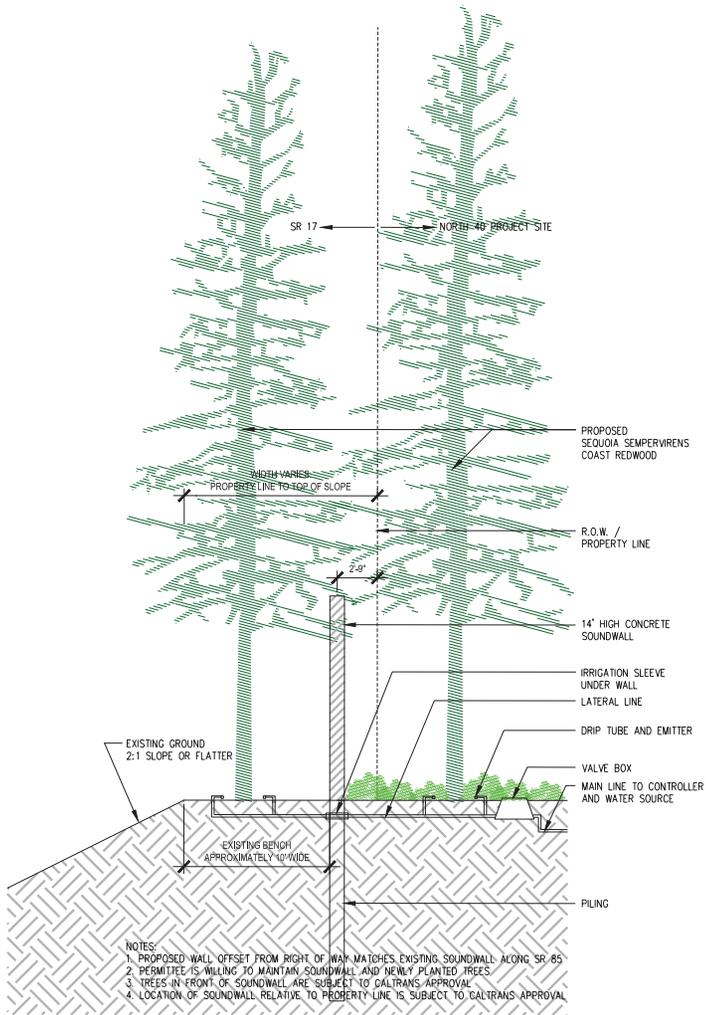
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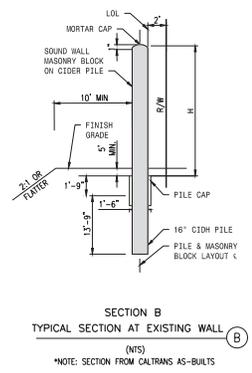


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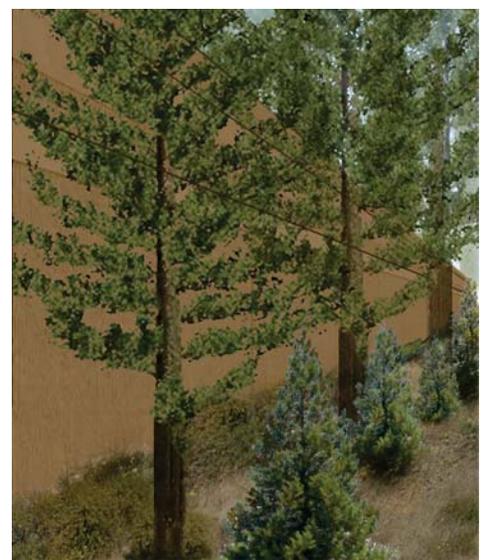
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SECTION A
PROPOSED SOUNDWALL
(NTS)



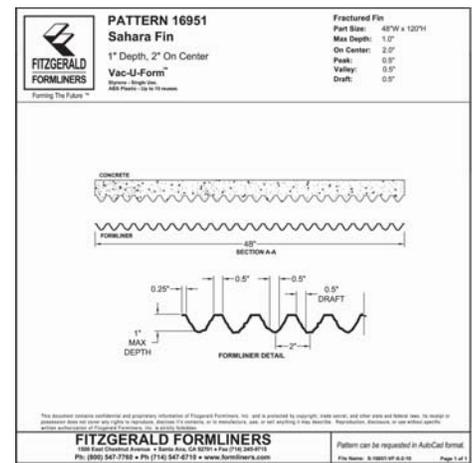
SECTION B
TYPICAL SECTION AT EXISTING WALL
(NTS)
*NOTE: SECTION FROM CALTRANS AS-BUILTS



SOUNDWALL
CONTEXT



SOUNDWALL
PATTERN



SOUNDWALL
CUT SHEET

NORTH FORTY | LOS GATOS, CA

Phase I
Soundwall Details and Sections

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