



**METRO
DESIGN
GROUP**

ARCHITECTURE-PLANNING-INTERIORS

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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION



GENERAL NOTES	CONSULTANT DIRECTORY	AREA TABULATIONS	PROJECT INFORMATION	VICINITY MAP																																																																																																																																																																						
<p>1. CODES AND REGULATIONS</p> <p>ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2013 CALIFORNIA BUILDING CODE (C.B.C.), 2013 CALIFORNIA RESIDENTIAL CODE (C.R.C.), 2013 CALIFORNIA ELECTRICAL CODE (C.E.C.), 2013 CALIFORNIA PLUMBING CODE (C.P.C.), 2013 CALIFORNIA MECHANICAL CODE (C.M.C.), 2013 CALIFORNIA FIRE CODE (C.F.C.), 2013 CALIFORNIA ENERGY CODE (C.E.C.), 2013 CALIFORNIA GREEN CODE (C.G.C.)</p> <p>NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.</p> <p>2. SITE VERIFICATION</p> <p>GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.</p> <p>3. MEASUREMENTS</p> <p>CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.</p> <p>4. DIMENSIONS</p> <p>DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.</p> <p>5. DISCREPANCIES</p> <p>MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p> <p>6. MANUFACTURER'S SPECIFICATIONS</p> <p>CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS. TYPICAL ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURERS FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.</p> <p>7. WINDOWS AND DOORS</p> <p>CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p> <p>8. CALGREEN STANDARDS</p> <p>ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. PER CGBC SEC. 4.504.2.4</p> <p>PRIOR TO FINAL INSPECTION, A LETTER, SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO THE CITY OF SAN JOSE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SECTION 4.504.</p>	<p>ARCHITECT</p> <p>METRO DESIGN GROUP CONTACT :TOM SLOAN A.I.A. 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE (408) 871-1072 FAX</p> <p>TOPO SURVEY & BOUNDARIES</p> <p>WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY #3 SARATOGA, CA 95070 (408) 867-0244 PHONE</p>	<p>1. SITE AREA</p> <p>GROSS AREA: 15,406 SQ. FT.</p> <p>PROPOSED NET AREA -4 LEGAL LOTS (4x 3,630 SQ. FT. =14,520 SQ. FT. MIN): 14,612 SQ. FT.</p> <p>SLOPE AT LANDING AREAS: 1% MIN, AWAY FROM THE STRUCTURE SLOPE AT PAVED AREAS: 2% MIN, AWAY FROM THE STRUCTURE SLOPE AT LANDSCAPE AREAS: 5% MIN, AWAY FROM THE STRUCTURE</p> <p>2. DENSITY</p> <p>REQUIRED: 5-12 UNITS PER NET ACRE PROPOSED: 12 UNITS PER NET ACRE</p> <p>3. FLOOR AREA</p> <p>EXISTING AREA TO BE DEMOLISHED: 3,954.2 SQ.FT.</p> <table border="1"> <thead> <tr> <th>AREA OF</th> <th>UNIT 1</th> <th>UNIT 2</th> <th>UNIT 3</th> <th>UNIT 4</th> </tr> </thead> <tbody> <tr> <td>FIRST FLOOR</td> <td>1,388.10</td> <td>1,118.71</td> <td>1,118.71</td> <td>1,407.56</td> </tr> <tr> <td>SECOND FLOOR</td> <td>818.57</td> <td>808.02</td> <td>808.02</td> <td>818.26</td> </tr> <tr> <td>THIRD FLOOR</td> <td>933.45</td> <td>800.95</td> <td>800.95</td> <td>933.45</td> </tr> <tr> <td>TOTAL HABITABLE FLOOR AREA</td> <td>3,140.12</td> <td>2,727.68</td> <td>2,727.68</td> <td>3,159.27</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>DEMO</th> <th>PROPOSED</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>GARAGE @ CELLAR*</td> <td>755.86</td> <td>758.62</td> <td>758.62</td> <td>759.59</td> </tr> <tr> <td>ENTRY PORCH</td> <td>57.24</td> <td>110.66</td> <td>100.66</td> <td>74.96</td> </tr> <tr> <td>TOTAL NON-HAB. 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FT. 39.83%</p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>DEMO</th> <th>PROPOSED</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>BUILDING(S)</td> <td>3,176.7</td> <td>3,176.7</td> <td>5,719</td> <td>5,719</td> </tr> <tr> <td>ACCESSORY BUILDING</td> <td>772.5</td> <td>772.5</td> <td>101</td> <td>101</td> </tr> <tr> <td>TOTAL</td> <td>3,954.2</td> <td>3,954.2</td> <td>5,820</td> <td>5,820</td> </tr> </tbody> </table> <p>6. PARKING SPACES: TOTAL OF 11 PARKING SPACES 8 COVERED (2/ GARAGE) AT CELLAR 2 GUEST PARKING SPACES AT CELLAR 1 VAN ACCESSIBLE AT CELLAR</p>	AREA OF	UNIT 1	UNIT 2	UNIT 3	UNIT 4	FIRST FLOOR	1,388.10	1,118.71	1,118.71	1,407.56	SECOND FLOOR	818.57	808.02	808.02	818.26	THIRD FLOOR	933.45	800.95	800.95	933.45	TOTAL HABITABLE FLOOR AREA	3,140.12	2,727.68	2,727.68	3,159.27		EXISTING	DEMO	PROPOSED	TOTAL	GARAGE @ CELLAR*	755.86	758.62	758.62	759.59	ENTRY PORCH	57.24	110.66	100.66	74.96	TOTAL NON-HAB. FLOOR AREA	813.10	869.28	859.28	834.55	TOTAL UNIT AREA	3,953.22	772.5	101	3,954.2	COMMON CELLAR AREA*	3,949.37 SQ. FT.				TOTAL AREA:	19,080.33 SQ. FT.					EXISTING	DEMO	PROPOSED	TOTAL	BUILDING(S)	3,176.7	3,176.7	5,719	5,719	ACCESSORY BUILDING	772.5	772.5	101	101	TOTAL	3,954.2	3,954.2	5,820	5,820	<p>PROPERTY OWNERS</p> <p>TANEKA LLC 579 E CAMPBELL AVENUE CAMPBELL, CA 95008</p> <p>APPLICANT NAME CONTACT: GARY KING PHONE: (408) 482-5044</p> <p>MAILING ADDRESS</p> <p>579 E CAMPBELL AVENUE CAMPBELL, CA 95008</p> <p>PROJECT ADDRESS</p> <p>30 ROBERTS ROAD & 6 FORREST AVENUE LOS GATOS, CA 95032</p> <p>SITE AREA</p> <p>0.374 AC GROSS (16,302.60 SF) 0.333 AC NET (14,520 SF)</p> <p>A.P.N.</p> <p>529-10-002 529-10-003</p> <p>ZONING</p> <p>R-M 5-12 MULTIPLE FAMILY RESIDENTIAL</p> <p>LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA</p> <p>YES</p> <p>SETBACK REQUIREMENTS</p> <table border="1"> <thead> <tr> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>FRONT: 25'-0"</td> <td>25'-0"</td> </tr> <tr> <td>REAR: 20'-0"</td> <td>20'-0"</td> </tr> <tr> <td>SIDE: 10'-0"; 12'-0"; 20'-0"</td> <td>10'-0"; 12'-0"; 20'-0"</td> </tr> <tr> <td>SIDE ABUTTING STREET: 20'-0"</td> <td>20'-0"</td> </tr> </tbody> </table> <p>PROPOSED</p> <table border="1"> <thead> <tr> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>FRONT: 25'-0"</td> <td>25'-0"</td> </tr> <tr> <td>REAR: 20'-0"</td> <td>20'-0"</td> </tr> <tr> <td>SIDE: 10'-0"; 12'-0"; 20'-0"</td> <td>10'-0"; 12'-0"; 20'-0"</td> </tr> <tr> <td>SIDE ABUTTING STREET: 20'-0"</td> <td>20'-0"</td> </tr> </tbody> </table> <p>ALLOWABLE</p> <table border="1"> <thead> <tr> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>FRONT: 30'-0"</td> <td>N/A</td> </tr> <tr> <td>REAR: 30'-0"</td> <td>N/A</td> </tr> <tr> <td>SIDE: 30'-0"</td> <td>N/A</td> </tr> <tr> <td>SIDE ABUTTING STREET: 30'-0"</td> <td>N/A</td> </tr> </tbody> </table> <p>MAX HEIGHT</p> <p>EXISTING BUILDINGS: 30'-0"</p> <p>PROPOSED BUILDING W/ CELLAR PARKING: 35'-0"</p> <p>CONSTRUCTION TYPE</p> <p>V-8</p> <p>OCCUPANCY</p> <p>R-3/U</p> <p>STORIES</p> <p>3</p> <p>FIRE SPRINKLERS</p> <p>REQUIRED (NFPA-13D)</p> <p>EXISTING USE</p> <p>RESIDENTIAL- SINGLE FAMILY DWELLING</p> <p>YEAR BUILT</p> <p>30 ROBERTS RD: 1949 6 FORREST AVENUE: 1973</p> <p>LOT SLOPE</p> <p>LESS THAN 5 %</p>	REQUIRED	PROPOSED	FRONT: 25'-0"	25'-0"	REAR: 20'-0"	20'-0"	SIDE: 10'-0"; 12'-0"; 20'-0"	10'-0"; 12'-0"; 20'-0"	SIDE ABUTTING STREET: 20'-0"	20'-0"	REQUIRED	PROPOSED	FRONT: 25'-0"	25'-0"	REAR: 20'-0"	20'-0"	SIDE: 10'-0"; 12'-0"; 20'-0"	10'-0"; 12'-0"; 20'-0"	SIDE ABUTTING STREET: 20'-0"	20'-0"	REQUIRED	PROPOSED	FRONT: 30'-0"	N/A	REAR: 30'-0"	N/A	SIDE: 30'-0"	N/A	SIDE ABUTTING STREET: 30'-0"	N/A	<p>PROJECT SITE</p> <p>SHEET INDEX</p> <table border="1"> <thead> <tr> <th>SHEET NO.</th> <th>TITLE</th> </tr> </thead> <tbody> <tr><td>A-0</td><td>SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CONSULTANTS, GENERAL NOTES AND TABULATIONS</td></tr> <tr><td>A-0.1</td><td>BUILD IT GREEN CHECKLIST</td></tr> <tr><td>A-1.0</td><td>SITE PLAN</td></tr> <tr><td>A-1.1</td><td>SHADOW STUDY DIAGRAM</td></tr> <tr><td>A-1.2</td><td>SITE CROSS SECTIONS</td></tr> <tr><td>A-1.3</td><td>STREET PROFILES</td></tr> <tr><td>A-1.4</td><td>EXTERIOR LIGHTING PLAN</td></tr> <tr><td>A-2.0</td><td>EXISTING CONDITIONS TOPOGRAPHIC AND BOUNDARY SURVEY</td></tr> <tr><td>A-2.1</td><td>EXISTING DEMO PLAN</td></tr> <tr><td>A-2.2</td><td>EXISTING ELEVATIONS</td></tr> <tr><td>A-2.3</td><td>EXISTING DEMO PLAN / ELEVATIONS</td></tr> <tr><td>A-3.0</td><td>CELLAR AND GARAGE PLANS</td></tr> <tr><td>A-3.1</td><td>FIRST FLOOR PLANS</td></tr> <tr><td>A-3.2</td><td>SECOND FLOOR PLANS</td></tr> <tr><td>A-3.3</td><td>THIRD FLOOR PLANS</td></tr> <tr><td>A-4.0</td><td>ROOF PLAN</td></tr> <tr><td>A-5.0</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.1</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.2</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-6.0</td><td>CROSS SECTION A-A</td></tr> <tr><td>A-6.1</td><td>CROSS SECTION B-B</td></tr> <tr><td>A-6.2</td><td>CROSS SECTION C-C</td></tr> <tr><td>L-1</td><td>LANDSCAPE PLAN</td></tr> <tr><td>C-0</td><td>TENTATIVE MAP</td></tr> <tr><td>C-1</td><td>PRELIMINARY GRADING & DRAINAGE PLAN</td></tr> <tr><td>C-2</td><td>EROSION CONTROL PLAN</td></tr> <tr><td>C-3</td><td>CLEAN BAY BLUEPRINT</td></tr> </tbody> </table>	SHEET NO.	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C-1	PRELIMINARY GRADING & DRAINAGE PLAN																																																																																																																																																																									
C-2	EROSION CONTROL PLAN																																																																																																																																																																									
C-3	CLEAN BAY BLUEPRINT																																																																																																																																																																									
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ARCHITECT : TOM SLOAN																																																																																																																																																																										
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SHEET NUMBER																																																																																																																																																																										
A-0																																																																																																																																																																										



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

SITE PLAN

DATE : 11-28-16
SCALE : 1/8" = 1'-0"
DRAWN BY : DZ
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16616

SHEET NUMBER

A-1.0

FIRE DEPARTMENT NOTES

FIRE PROTECTION WATER
AN AUTOMATIC NFPA 13 FIRE SPRINKLER SYSTEM APPROVED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT SHALL BE INCLUDED IN ALL PORTIONS OF THE BUILDING. THREE SETS OF PLANS PREPARED BY A SPRINKLER CONTRACTOR SHALL BE SUBMITTED TO THE SANTA CLARA COUNTY FIRE DEPARTMENT (14700 WINCHESTER BLVD., LOS GATOS, CA 95032) FOR REVIEW AND APPROVAL. THE SPRINKLERS SHALL BE INSPECTED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE BUILDING.

A. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, HYDRAULICALLY DESIGNED IN ACCORDANCE WITH NFPA STANDARD 13-2013 EDITION AND LOCAL ORDINANCES SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE. THE FIRE SPRINKLER SYSTEM SUPPLY VALVING, FIRE DEPARTMENT CONNECTION (FDC), ETC., SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH NFPA 13 REQUIREMENTS.
B. FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED THROUGHOUT THE GARAGE AND ALL CONTIGUOUS AREAS WITHIN THE STRUCTURE.
C. A STATE OF CALIFORNIA LICENSED FIRE PROTECTION CONTRACTOR SHALL PROVIDE (3) COPIES OF THE WORKING DRAWINGS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF WORK.
D. THE FIRE DISTRICT MUST ISSUE A PERMIT PRIOR TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM.
E. THE SPRINKLER CONTRACTOR MUST HAVE A CITY BUSINESS LICENSE AND WORKER'S COMPENSATION CERTIFICATE.
F. A FLAT CEILING IS REQUIRED IN AREAS INCORPORATING AN AUTOMATIC FIRE SPRINKLER SYSTEM TO ASSURE PROPER FUNCTIONING OF THE SPRINKLER HEADS.
G. THE BUILDING SHALL BE PROVIDED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM. SPRINKLER CONTROL VALVES SHALL BE LOCATED TO ALLOW CONTROL OF THE SPRINKLER RISER FROM OUTSIDE THE BUILDING. SUBMIT SHOP DRAWINGS (3 SETS) AND A PERMIT APPLICATION TO THE FIRE PREVENTION DIVISION FOR REVIEW AND APPROVAL BEFORE INSTALLING THE SYSTEM. CALL (408) 378-4010 FOR MORE INFORMATION.

SMOKE ALARMS
PER CBC #907.2.9.2, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC #907.2.11.

EGRESS DOORS
EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, TRUMBUR, OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE EXCEPTIONS TO THE SECTION 1008.1.9.4 ARE MET. (CBC #1008.1.9)

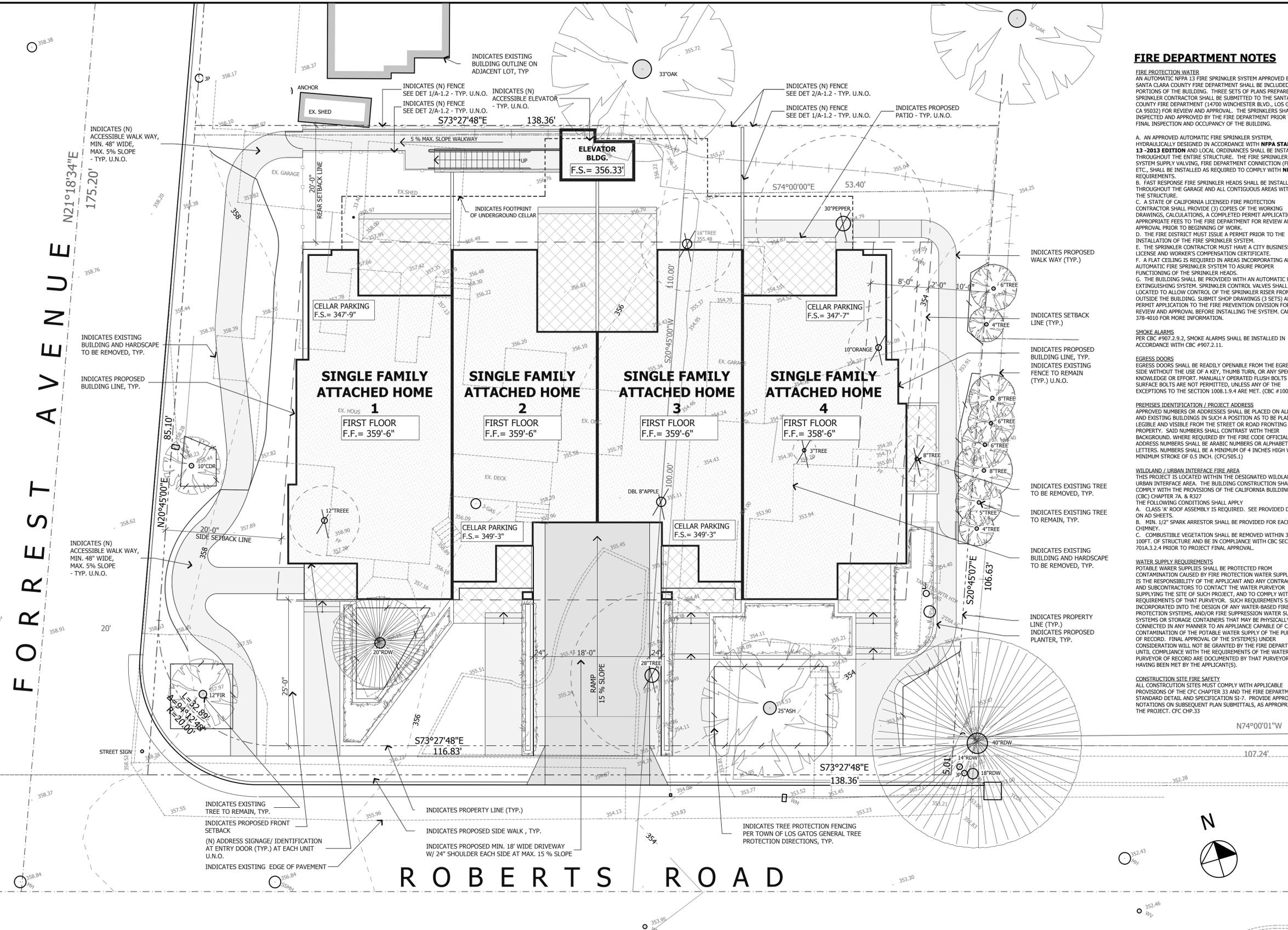
PREMISES IDENTIFICATION / PROJECT ADDRESS
APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF 0.5 INCH. (CFC#505.1)

WILDLAND / URBAN INTERFACE FIRE AREA
THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND URBAN INTERFACE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A & R327.

THE FOLLOWING CONDITIONS SHALL APPLY
A. CLASS 'A' ROOF ASSEMBLY IS REQUIRED. SEE PROVIDED DETAILS ON AD SHEETS.
B. MIN. 1/2" SPARK ARRESTOR SHALL BE PROVIDED FOR EACH CHIMNEY.
C. COMBUSTIBLE VEGETATION SHALL BE REMOVED WITHIN 30FT TO 100FT. OF STRUCTURE AND BE IN COMPLIANCE WITH CBC SEC 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

WATER SUPPLY REQUIREMENTS
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S).

CONSTRUCTION SITE FIRE SAFETY
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND THE FIRE DEPARTMENT'S STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33



SITE PLAN LEGEND

PROPERTY LINE	---	NEW GAS LINE	—G—	PROPOSED RESIDENCES	□	EXISTING TREE TO REMAIN	○
SETBACK LINE	- - -	NEW WATER LINE	—W—	PROPOSED CONCRETE DRIVEWAY	▒	EXISTING TREE TO BE REMOVED	○
(E) GRADE CONTOUR LINE	- - -	NEW ELECTRIC LINE	—E—	PROPOSED PATIOS	▤	TREE PROTECTION FENCING	○
PROPOSED GRADE CONTOUR LINE	- - -	JOINT TRENCH	—JT—	PROPOSED HARDSCAPE	▒	PROPOSED PLANTER	▭
EXISTING FENCE TO BE REMOVED	—+—	NEW SANITARY SEWER LINE	—SS—				
PROPOSED FENCE	—□—						
EXISTING BUILDINGS AND HARDSCAPE TO BE REMOVED	—X—						

BENCHMARK: LG31 ELEVATION 367.04
SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY
BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

NOTE: SHADOW STUDY FOR ALL DIAGRAMS DOES NOT INCLUDE ANY EXISTING TREES



SPRING EQUINOX

9:00 AM



NOON



3:00 PM



SUMMER SOLSTICE

9:00 AM



NOON



3:00 PM



AUTUMNAL EQUINOX

9:00 AM



NOON



3:00 PM



WINTER SOLSTICE

9:00 AM



NOON



3:00 PM



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**SHADOW
STUDY DIAGRAM**

DATE : 11-28-16

SCALE : N.T.S.

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-1.1



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PROJECT NAME

**LOS GATOS
CREEKESIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

SITE SECTIONS

SURROUNDING PARCEL PLAN
SITE SECTIONS
GOOD NEIGHBOR FENCE DETAIL

DATE : 11-28-16

SCALE : AS NOTED

DRAWN BY : D.Z.

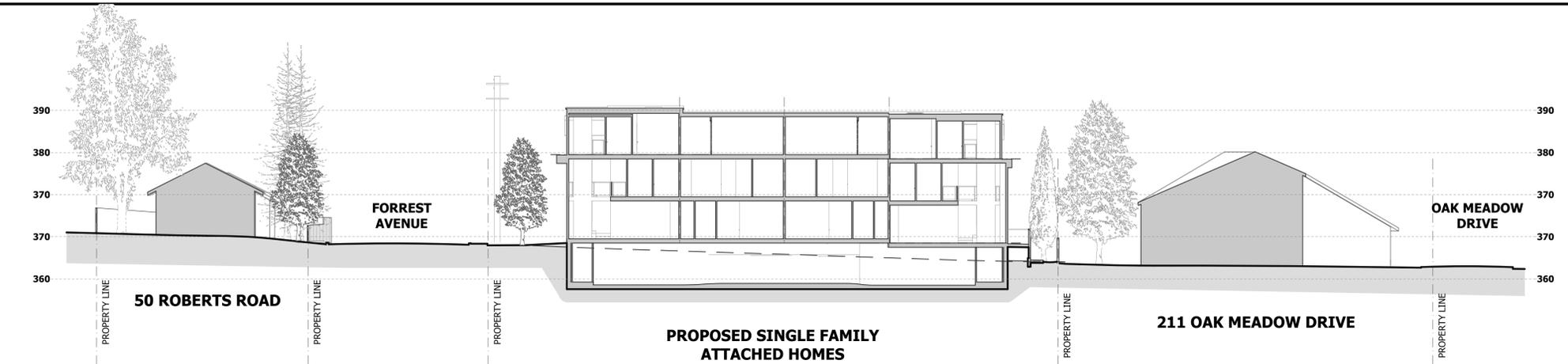
CHECKED BY : TS

ARCHITECT : TOM SLOAN

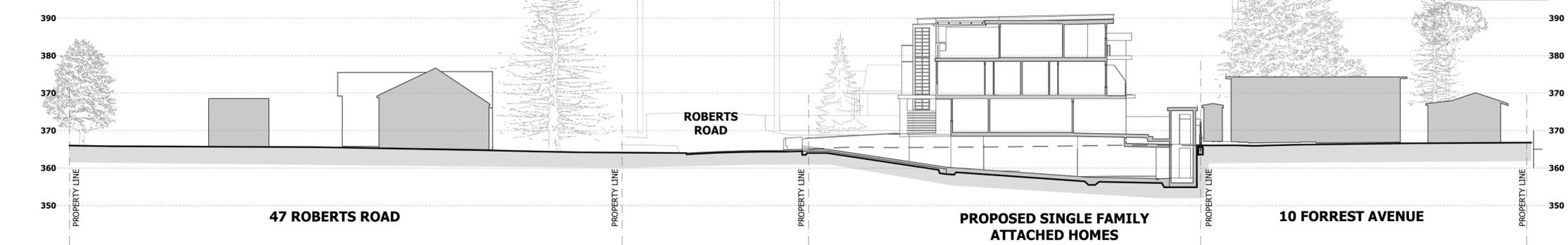
PROJECT NO : 16616

SHEET NUMBER

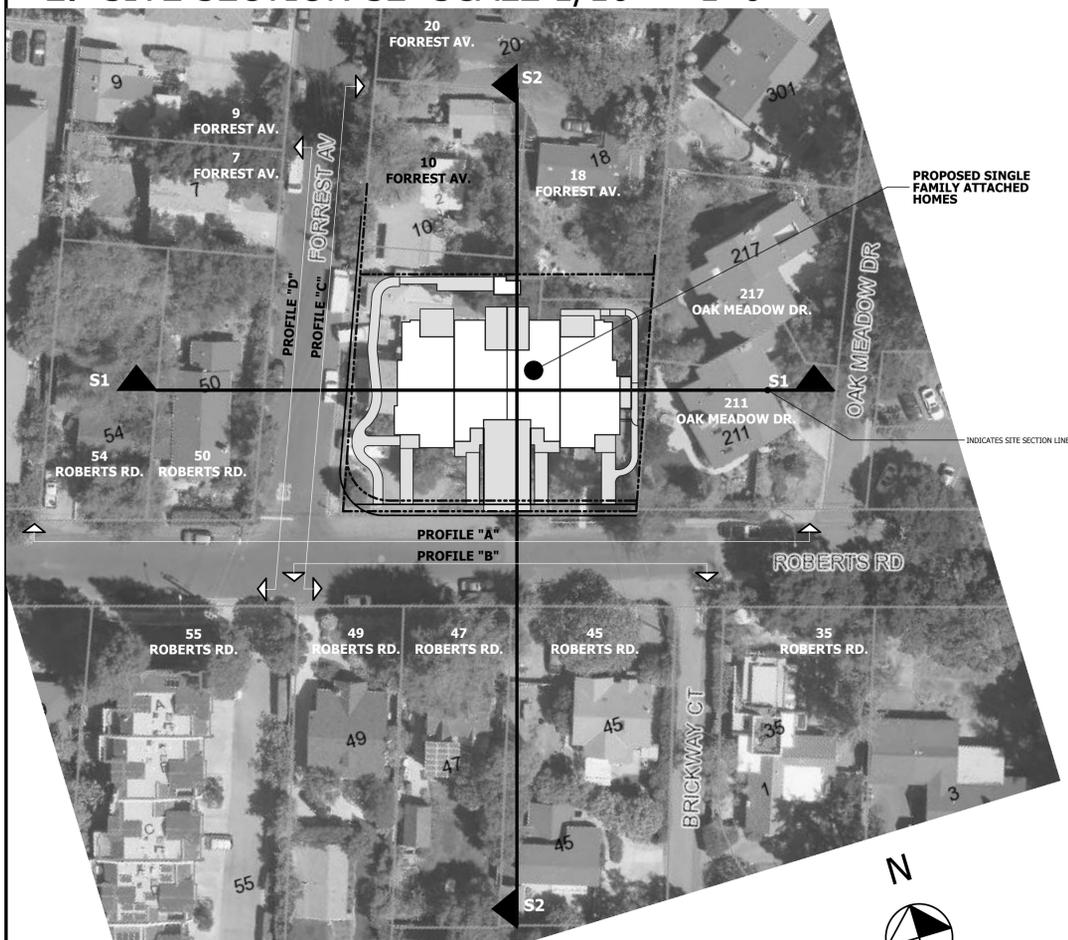
A-1.2



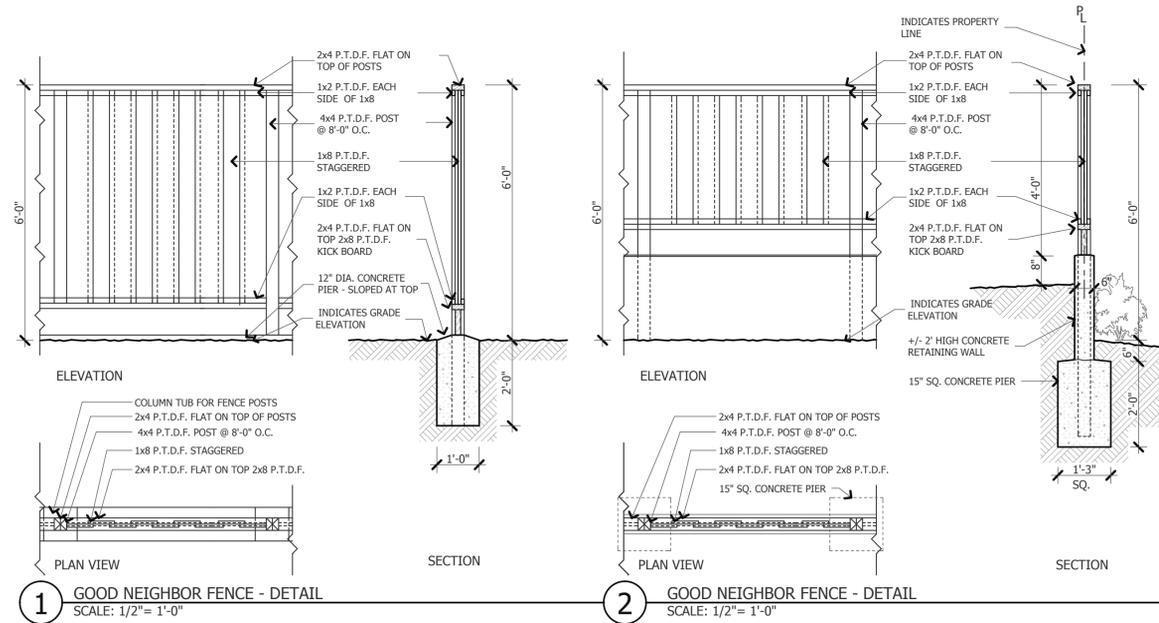
1. SITE SECTION S1 SCALE 1/16" = 1'-0"



2. SITE SECTION S2 SCALE 1/16" = 1'-0"



3. SURROUNDING PARCEL PLAN SCALE 1"=40'



11/29/2016 2:23 PM
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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

STREET PROFILES

DATE : 11-28-16

SCALE : AS NOTED

DRAWN BY : D.Z.

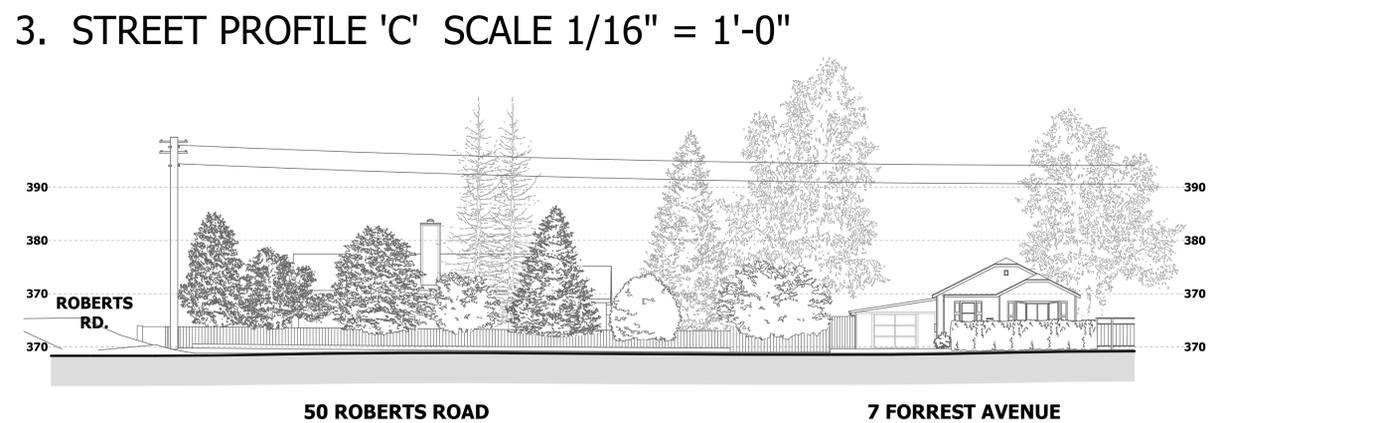
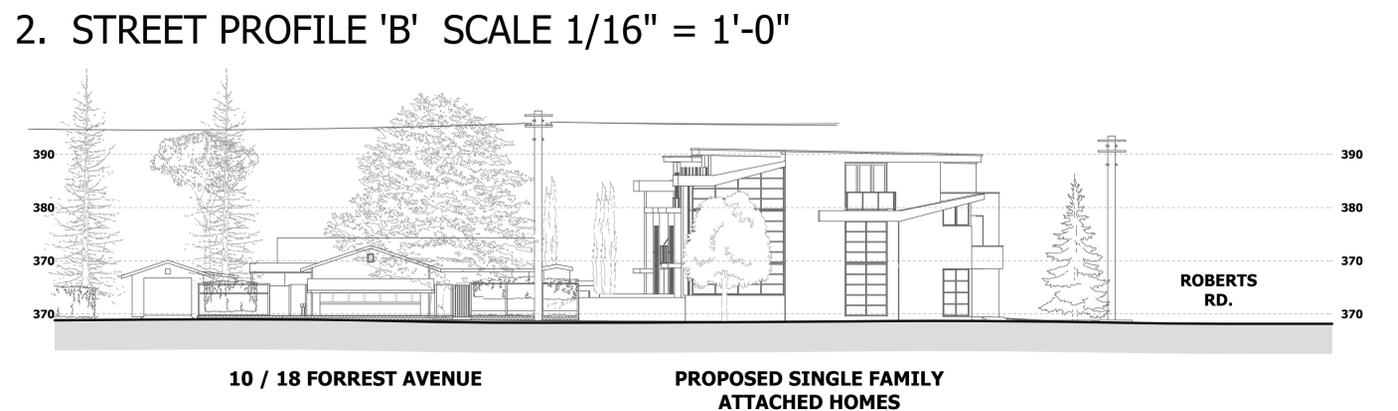
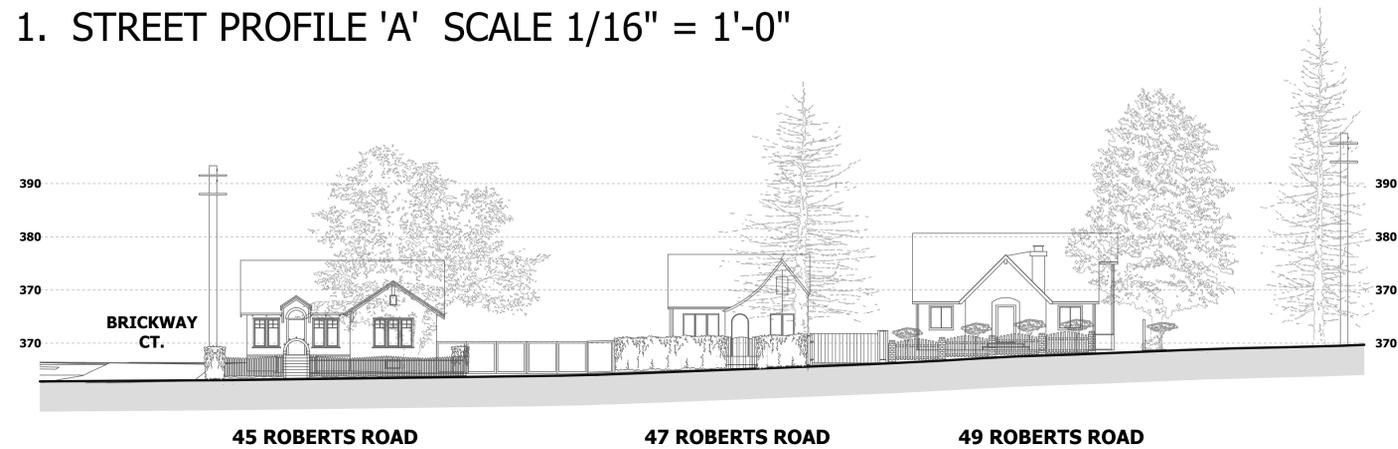
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-1.3





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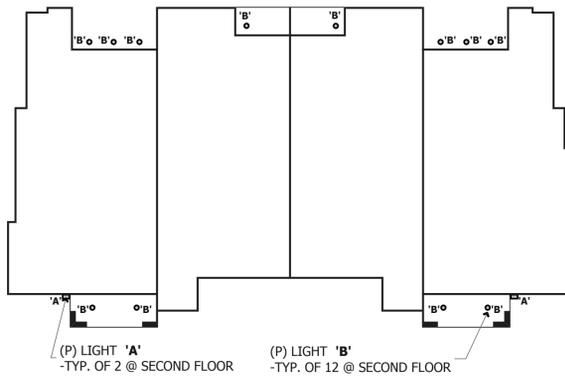
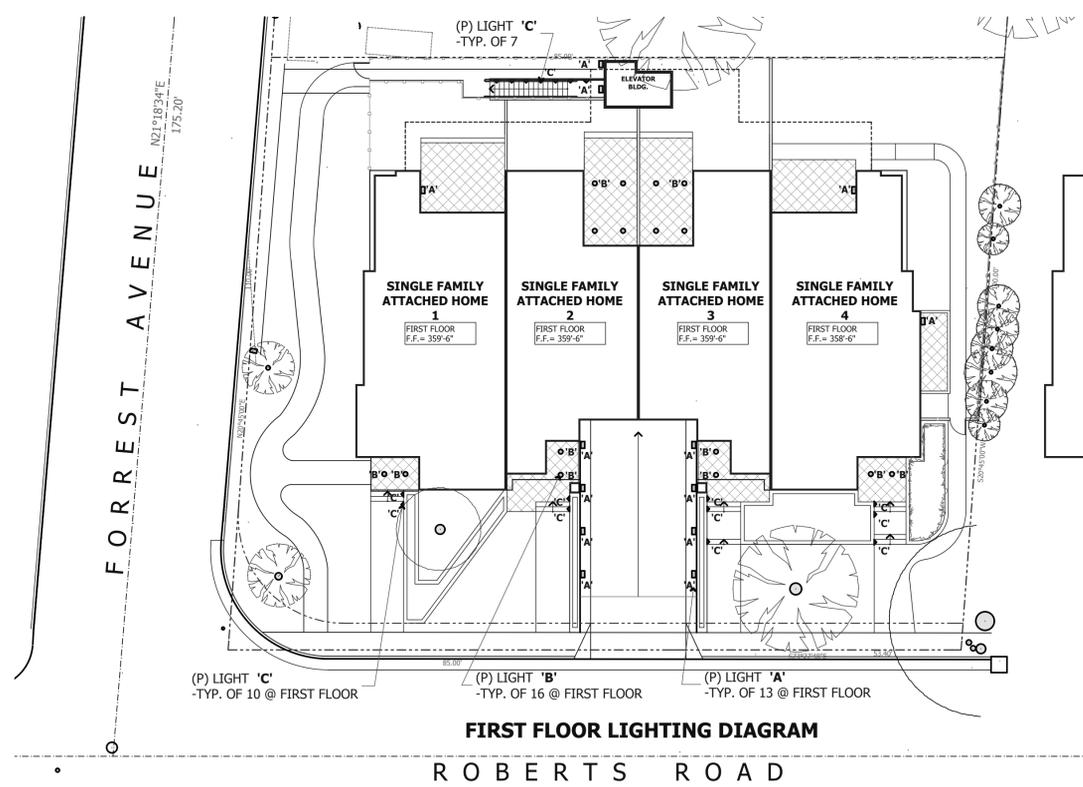
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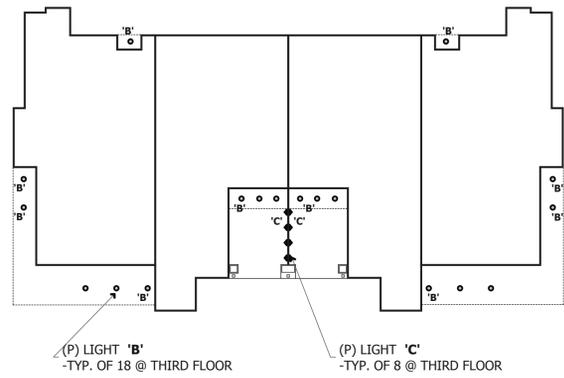
PROJECT NAME
**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS	



'A' □ TOTAL (P) LIGHT 'A': 15
'B' ○ TOTAL (P) LIGHT 'B': 46
'C' ◻ TOTAL (P) LIGHT 'C': 25



PROPOSED EXTERIOR LIGHTING PLAN



PROPOSED WALL MOUNTED LIGHT 'A'

HINKLEY LIGHTING 1660BZ-LED BRONZE 16.75" HEIGHT ADA COMPLIANT DARK SKY LED OUTDOOR WALL SCONCE - LUNA COLLECTION



Product Details for the Hinkley Lighting 1660BZ in Bronze

16.75" Height 2 ADA Compliant Light Dark Sky Outdoor Wall Sconce from the Luna Collection

Features:

- Bronze metal cylinder shade included with the Bronze finish
- Satin Black metal cylinder shade included with the Satin Black finish
- Titanium metal cylinder shade included with the Titanium finish
- Made of extruded aluminum
- Designed to cast a soft ambient light over a wide area
- ADA Compliant
- Dark Sky Compliant
- Suitable for wet locations

Lamping Technologies:

- Bulb Base - Bi Pin - The bi pin, or 'bi pin socket', is a standard from the IEC (International Electrotechnical Commission) for lamp fittings. These are used on many small incandescent light bulbs.

Specifications:

- ADA: Yes
- Backplate Height: 16"
- Backplate Width: 6"
- Bulb Base: Bi Pin
- Bulb Included: Yes
- Bulb Base: Bi Pin
- Bulb Included: Yes
- Bulb Shape: MR16
- Bulb Type: Halogen
- Dark Sky: Yes
- Energy Star: No
- Extension: 3.5" (measured from mounting surface to furthest protruding point on fixture)
- HCO: 10, 13.5" (height from center of outlet)
- Height: 16.75"
- Location Rating: Wet Location
- Material: Aluminum
- Number of Bulbs: 2
- Product Weight: 7 lbs
- Shade Material: Metal
- Voltage: 120v
- Wattage: 40
- Watts Per Bulb: 20

Compliance:

- Dark Sky Lighting - Known as Cut Off Lighting, or Friendly Lighting, Dark Sky refers to lighting fixtures that reduce excess lighting and reduces sky glow to eliminate wasted energy allowing the night sky to shine.
- ADA Compliance - The Americans with Disabilities Act (ADA). Fixtures hung between 27" and 80" above the floor must have an extension of 4" or less; this applies to wall lights hung in walkways, halls, corridors, passageways or aisles. Ceiling Fixtures must be hung no lower than 80".

PROPOSED CEILING FLUSH MOUNT LIGHT 'B'

HINKLEY LIGHTING 1663BZ-LED BRONZE 1 LIGHT LED DARK SKY OUTDOOR FLUSH MOUNT CEILING FIXTURE - LUNA COLLECTION



Product Details for the Hinkley Lighting 1663BZ-LED in Bronze

Single Light LED Outdoor Flush Mount Ceiling Fixture from the Luna Collection

Features:

- Etched glass round shade
- Made of extruded aluminum
- Designed to cast light in a downward direction
- Dark sky compatible
- Capable of being dimmed - allowing you to set your desired illumination levels when used with dimmable bulbs
- Suitable for damp locations
- Energy efficient

Lamping Technologies:

- LED - Light Emitting Diode: Highly efficient diodes produce little heat and have an extremely long lifespan.

Specifications:

- Bulb Base: Integrated LED
- Bulb Included: Yes
- Bulb Type: LED
- Color Rendering Index (CRI): 90
- Color Temperature: 2700K
- Dark Sky: Yes
- Dimmable: Yes
- Energy Efficient: Yes
- Energy Star: No
- Height: 7.25
- Includes Glass Guard: No
- LED: Yes
- Light Direction: Down Lighting
- Location Rating: Damp Location
- Lumens: 900
- Material: Aluminum
- Number of Bulbs: 1
- Product Weight: 5
- Shade: Yes
- Shade Color: White

Compliance:

- Dark Sky Lighting - Known as Cut Off Lighting, or Friendly Lighting, Dark Sky refers to lighting fixtures that reduce excess lighting and reduces sky glow to eliminate wasted energy allowing the night sky to shine.

PROPOSED STEP LIGHT 'C'

HINKLEY LIGHTING 58508BZ BRONZE 1 LIGHT 3" HEIGHT ADA COMPLIANT LED OUTDOOR STEP LIGHT - LUNA COLLECTION



Product Details for the Hinkley Lighting 58508BZ in Bronze

Single Light 3" Height ADA Compliant LED Outdoor Step Light from the Luna Collection

Features:

- Made of zinc-aluminum alloy
- Energy efficient
- ADA Compliant
- Suitable for wet locations

Lamping Technology:

- LED - Light Emitting Diode: Highly efficient diodes produce little heat and have an extremely long lifespan.

Specifications:

- Bulb Included: Yes
- Bulb Type: LED
- Dark Sky: No
- Extension: 0.5" (measured from mounting surface to furthest protruding point on fixture)
- Height: 3"
- LED: Yes
- Material: Aluminum
- Number of Bulbs: 1
- Product Weight: 1 lbs
- Sloped Ceiling Compatible: No
- Title 24: No
- UL Rating: Wet Location
- Voltage: 120v
- Wattage: 4
- Watts Per Bulb: 4
- Width: 4.5" (measured from furthest point left to furthest point right on fixture)

Compliance:

- UL Listed - Indicates whether a product meets standards and compliance guidelines set by Underwriters Laboratories. This listing determines what types of rooms or environments a product can be used in safely.
- ADA Compliance - The Americans with Disabilities Act (ADA). Fixtures hung between 27" and 80" above the floor must have an extension of 4" or less; this applies to wall lights hung in walkways, halls, corridors, passageways or aisles. Ceiling Fixtures must be hung no lower than 80".

PROPOSED EXTERIOR LIGHTING PLAN

DATE : 11-28-16

SCALE : 1/16" = 1'-0"

DRAWN BY : DZ

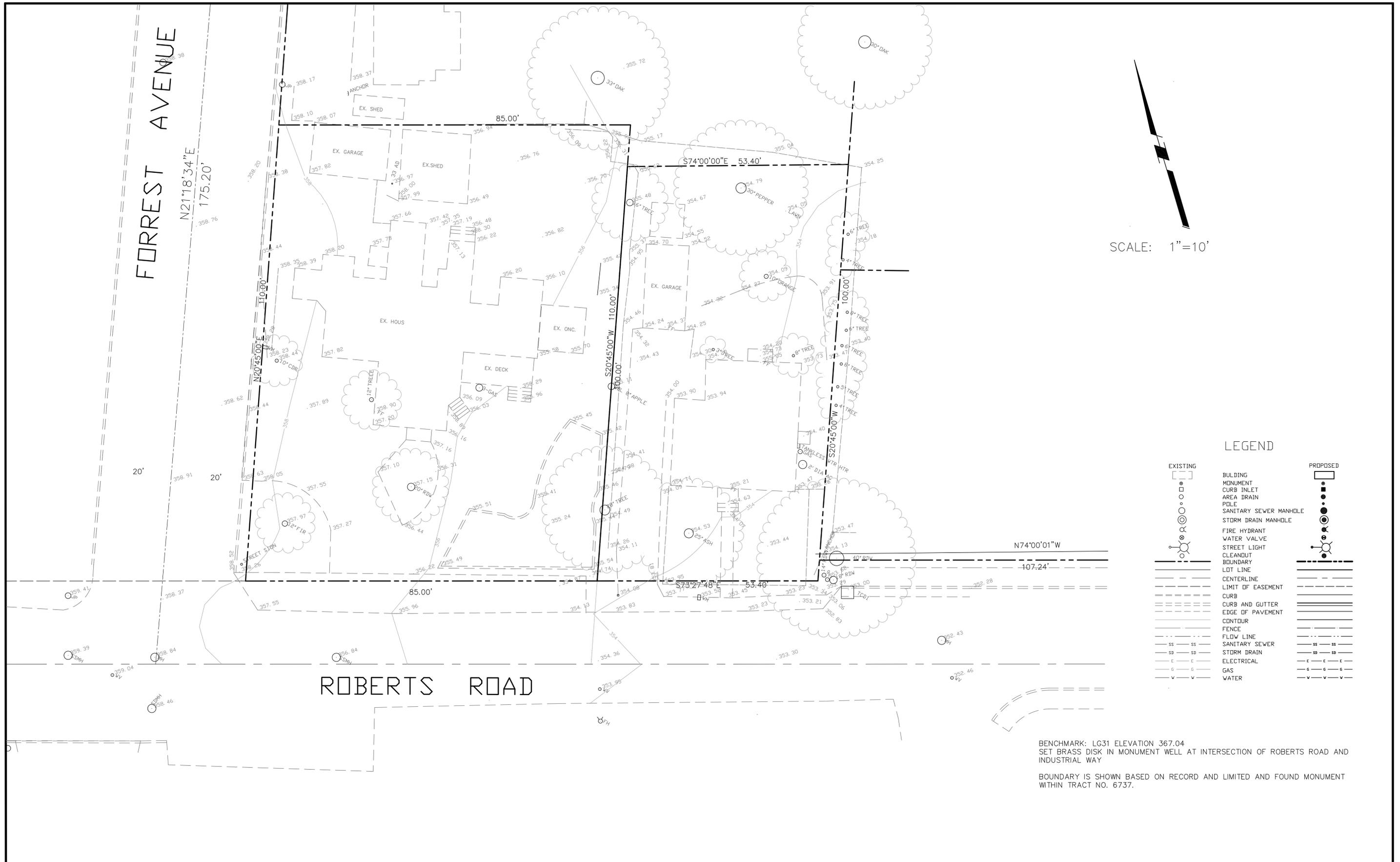
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-1.4



SCALE: 1"=10'

LEGEND

EXISTING		PROPOSED
[Symbol]	BUILDING	[Symbol]
[Symbol]	MONUMENT	[Symbol]
[Symbol]	CURB INLET	[Symbol]
[Symbol]	AREA DRAIN	[Symbol]
[Symbol]	POLE	[Symbol]
[Symbol]	SANITARY SEWER MANHOLE	[Symbol]
[Symbol]	STORM DRAIN MANHOLE	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	WATER VALVE	[Symbol]
[Symbol]	STREET LIGHT	[Symbol]
[Symbol]	CLEANOUT	[Symbol]
[Symbol]	BOUNDARY	[Symbol]
[Symbol]	LOT LINE	[Symbol]
[Symbol]	CENTERLINE	[Symbol]
[Symbol]	LIMIT OF EASEMENT	[Symbol]
[Symbol]	CURB	[Symbol]
[Symbol]	CURB AND GUTTER	[Symbol]
[Symbol]	EDGE OF PAVEMENT	[Symbol]
[Symbol]	CONTOUR	[Symbol]
[Symbol]	FENCE	[Symbol]
[Symbol]	FLOW LINE	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]
[Symbol]	STORM DRAIN	[Symbol]
[Symbol]	ELECTRICAL	[Symbol]
[Symbol]	GAS	[Symbol]
[Symbol]	WATER	[Symbol]

BENCHMARK: LG31 ELEVATION 367.04
 SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY
 BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

NO.	BY	DATE	REVISION	BY	DATE

DATE: JULY 2016
 SCALE: HDR. 1"=10'
 VERT.
 DESIGNED: JC
 CHECKED: KC
 PROJ. ENGR: HB

BY: KAREL CYMBAL, RCE 34534
 DATE:



WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

TOPOGRAPHIC MAP
 30 ROBERTS ROAD & 6 FOREST AVE., LOS GATOS, CA

JOB NO.
 2016-008

SHEET
 1
 OF
 1



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**EXISTING/
DEMOLITION
FLOOR PLANS**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

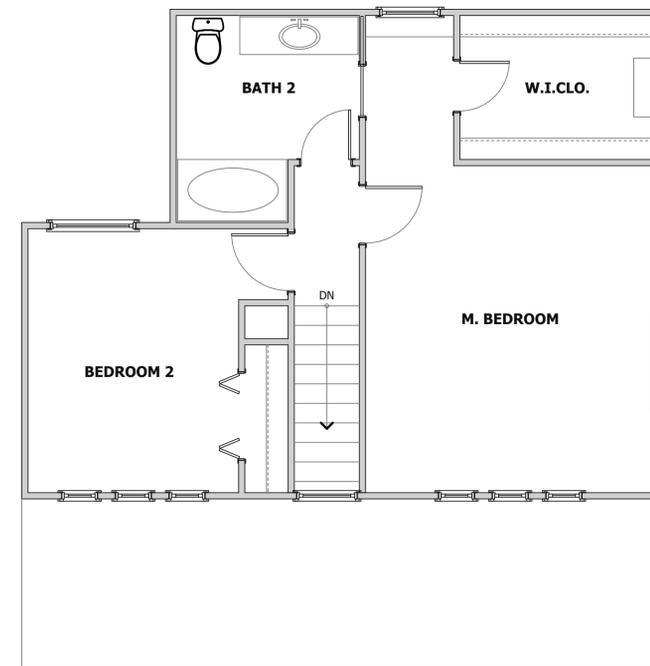
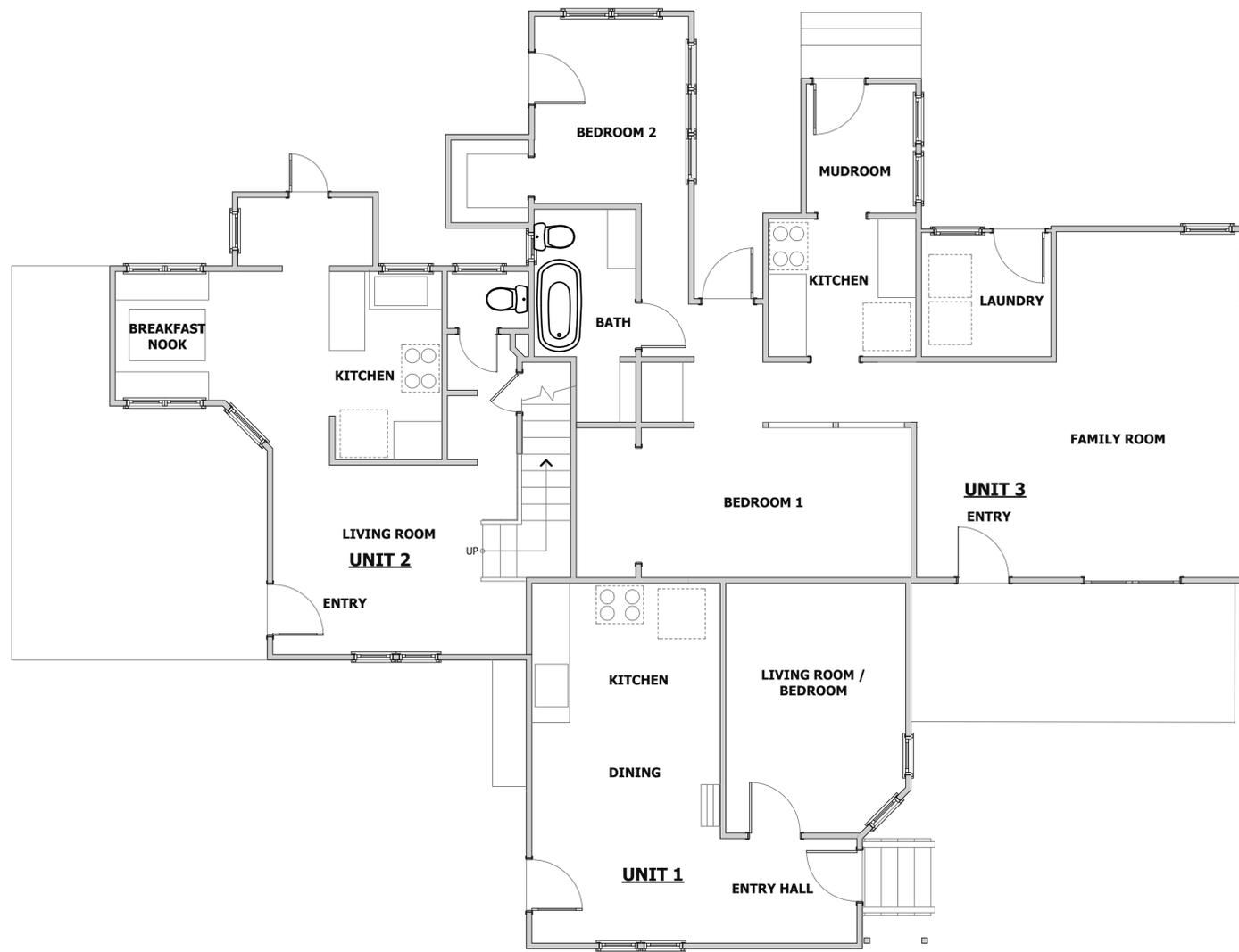
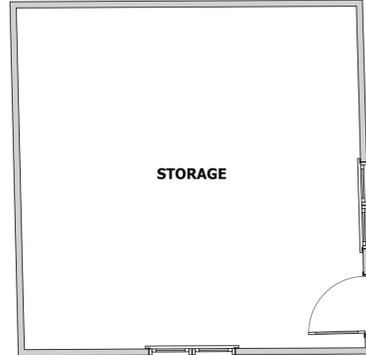
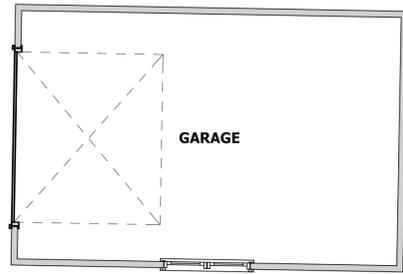
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-2.1



**FIRST FLOOR PLAN
EXISTING BUILDING TO BE REMOVED
6 FORREST AVENUE**



SECOND FLOOR PLAN





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PROJECT NAME

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CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**EXISTING/
DEMOLITION
ELEVATIONS**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : HSC

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-2.2



**FORREST AVE
EXISTING HOUSE - WEST ELEVATION**



**FORREST AVE
EXISTING HOUSE - EAST ELEVATION**



**FORREST AVE
EXISTING HOUSE - NORTH ELEVATION**



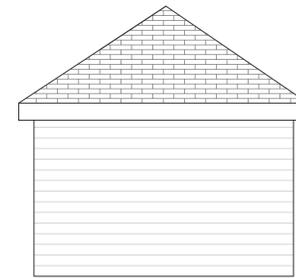
**FORREST AVE
EXISTING HOUSE - SOUTH ELEVATION**



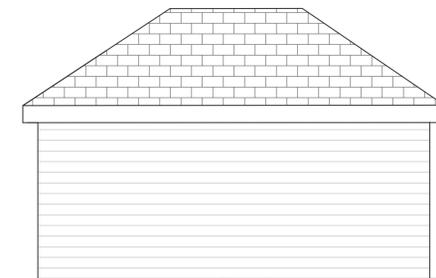
**FORREST AVE
EXISTING GARAGE - WEST ELEVATION**



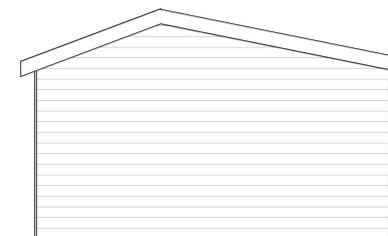
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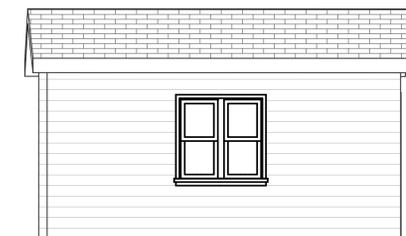
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EXISTING GARAGE - EAST ELEVATION**



**FORREST AVE
EXISTING GARAGE - SOUTH ELEVATION**



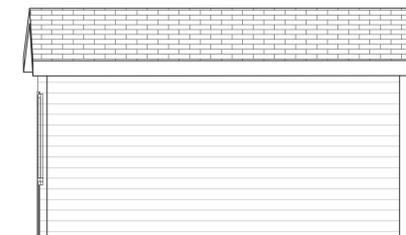
**FORREST AVE
EXISTING STORAGE - WEST ELEVATION**



**FORREST AVE
EXISTING STORAGE - NORTH ELEVATION**



**FORREST AVE
EXISTING STORAGE - EAST ELEVATION**



**FORREST AVE
EXISTING STORAGE - SOUTH ELEVATION**



**METRO
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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**EXISTING/
DEMOLITION
FLOOR PLANS
AND ELEVATIONS**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : HSC

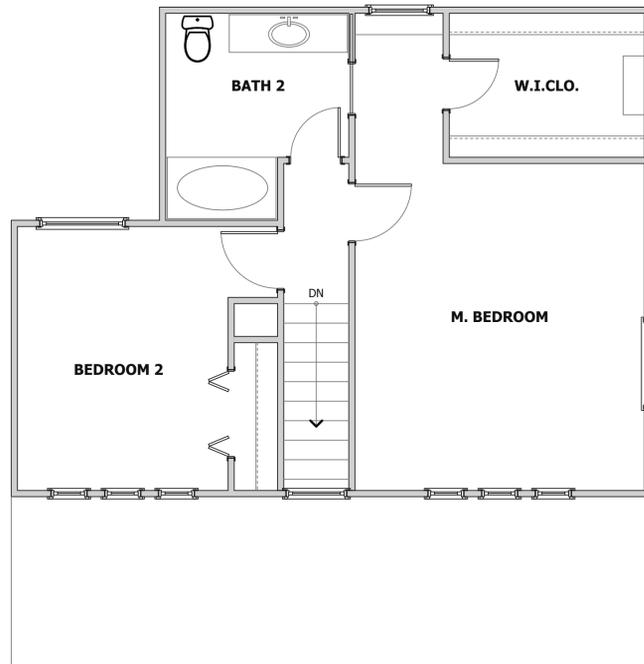
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

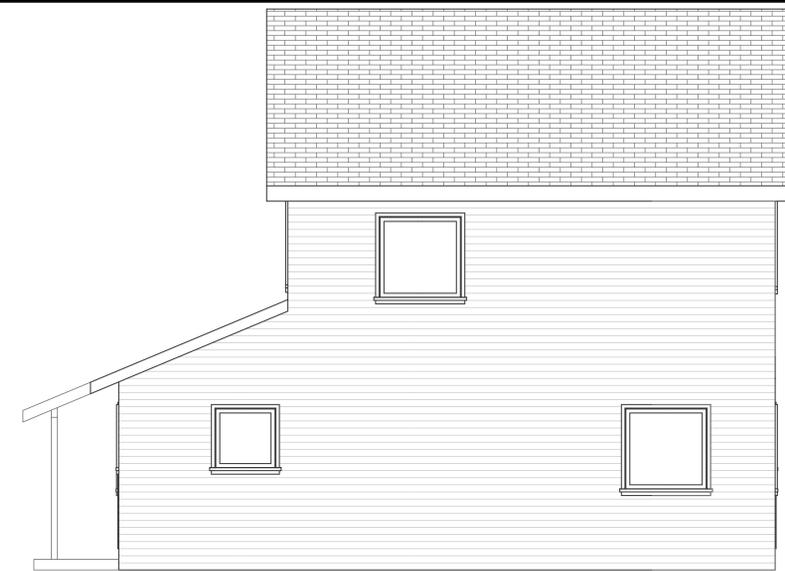
A-2.3



SECOND FLOOR PLAN



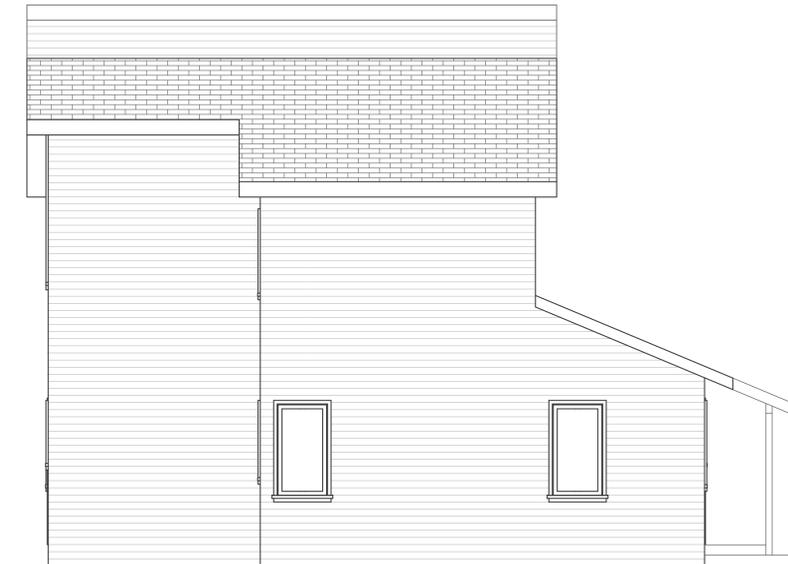
**ROBERTS RD
EXISTING HOUSE - NORTH ELEVATION**



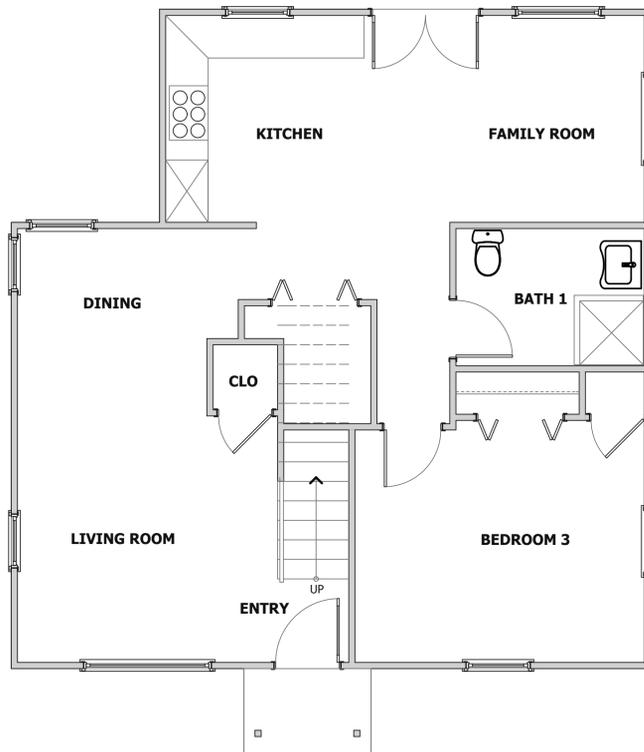
**ROBERTS RD
EXISTING HOUSE - EAST ELEVATION**



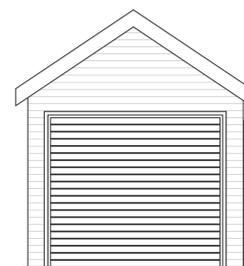
**ROBERTS RD
EXISTING HOUSE - SOUTH ELEVATION**



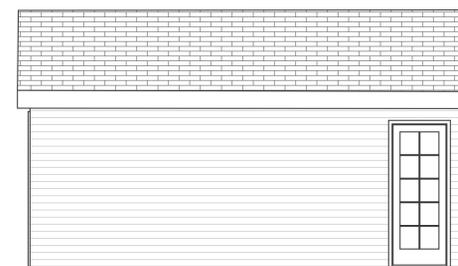
**ROBERTS RD
EXISTING HOUSE - WEST ELEVATION**



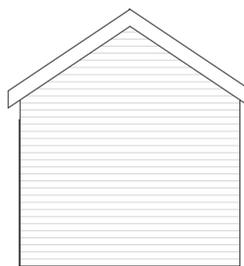
**FIRST FLOOR PLAN
EXISTING BUILDING TO BE REMOVED
30 ROBERTS ROAD**



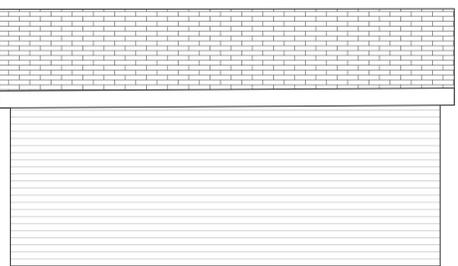
**ROBERTS RD
EXISTING GARAGE - NORTH ELEVATION**



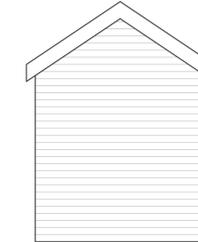
**ROBERTS RD
EXISTING GARAGE - EAST ELEVATION**



**ROBERTS RD
EXISTING GARAGE - SOUTH ELEVATION**



**ROBERTS RD
EXISTING GARAGE - WEST ELEVATION**



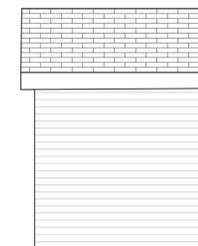
**ROBERTS RD
EXISTING SHED - NORTH ELEVATION**



**ROBERTS RD
EXISTING SHED - EAST ELEVATION**



**ROBERTS RD
EXISTING SHED - SOUTH ELEVATION**



**ROBERTS RD
EXISTING SHED - WEST ELEVATION**



**METRO
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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

PARKING PLAN

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

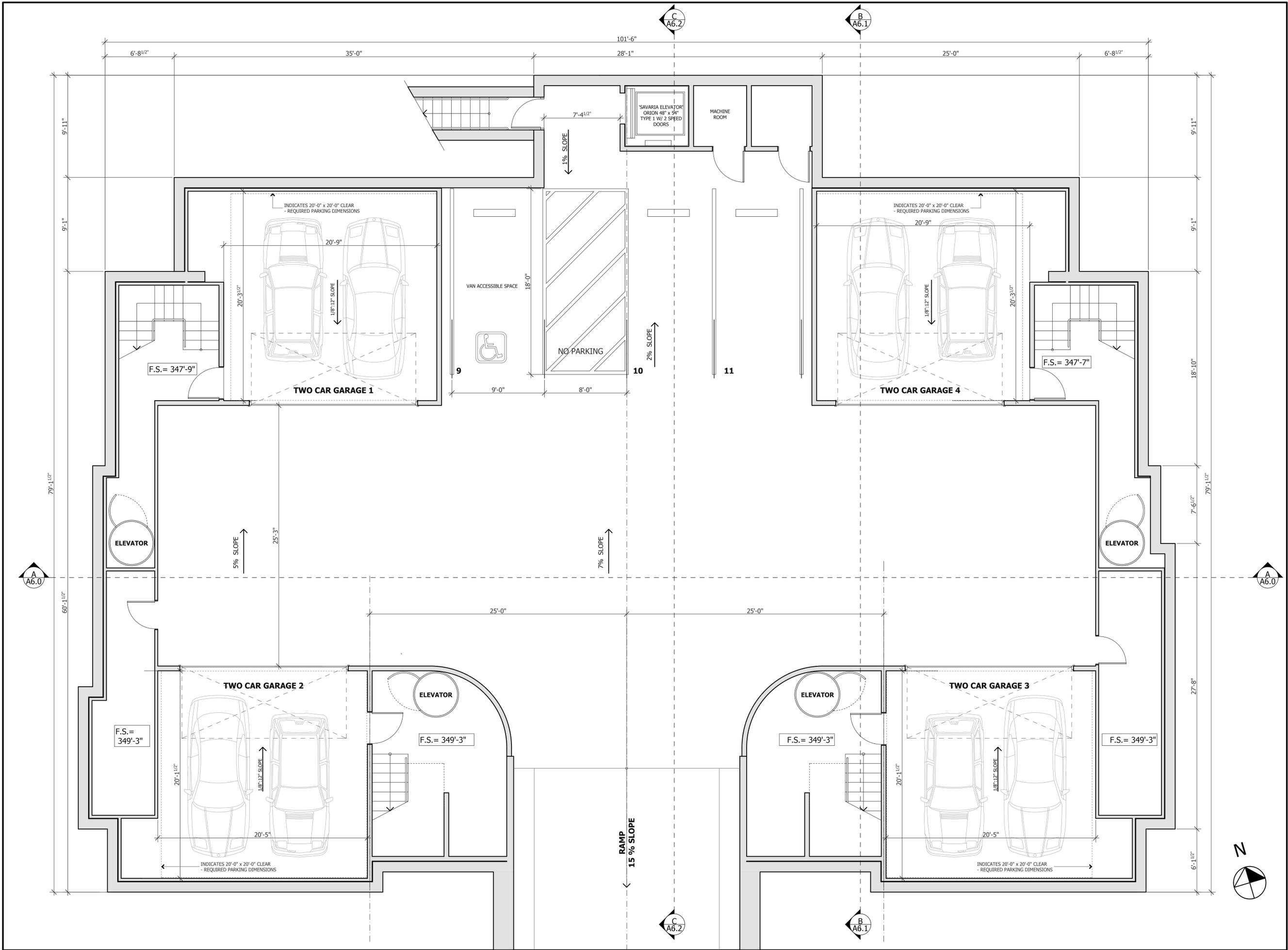
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-3.0



11/29/2016 2:23 PM
T:\area\con\9407-16.dwg



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**FIRST FLOOR
PLAN**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-3.1



11/28/2016 2:28 PM
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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**SECOND FLOOR
PLAN**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

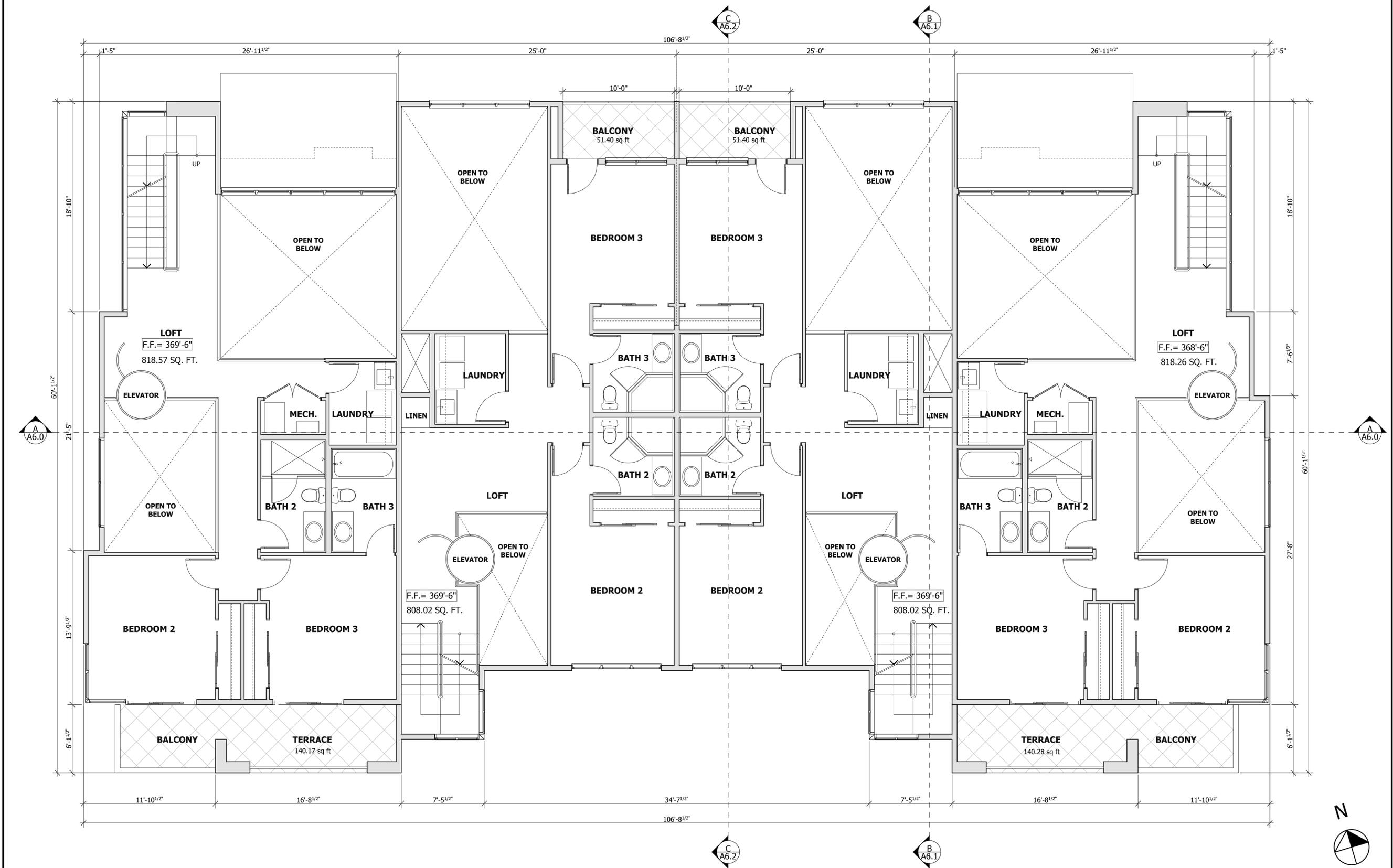
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-3.2



11/28/2016 2:28 PM
Tanea Conroy 947-36.ph



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**THIRD FLOOR
PLAN**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

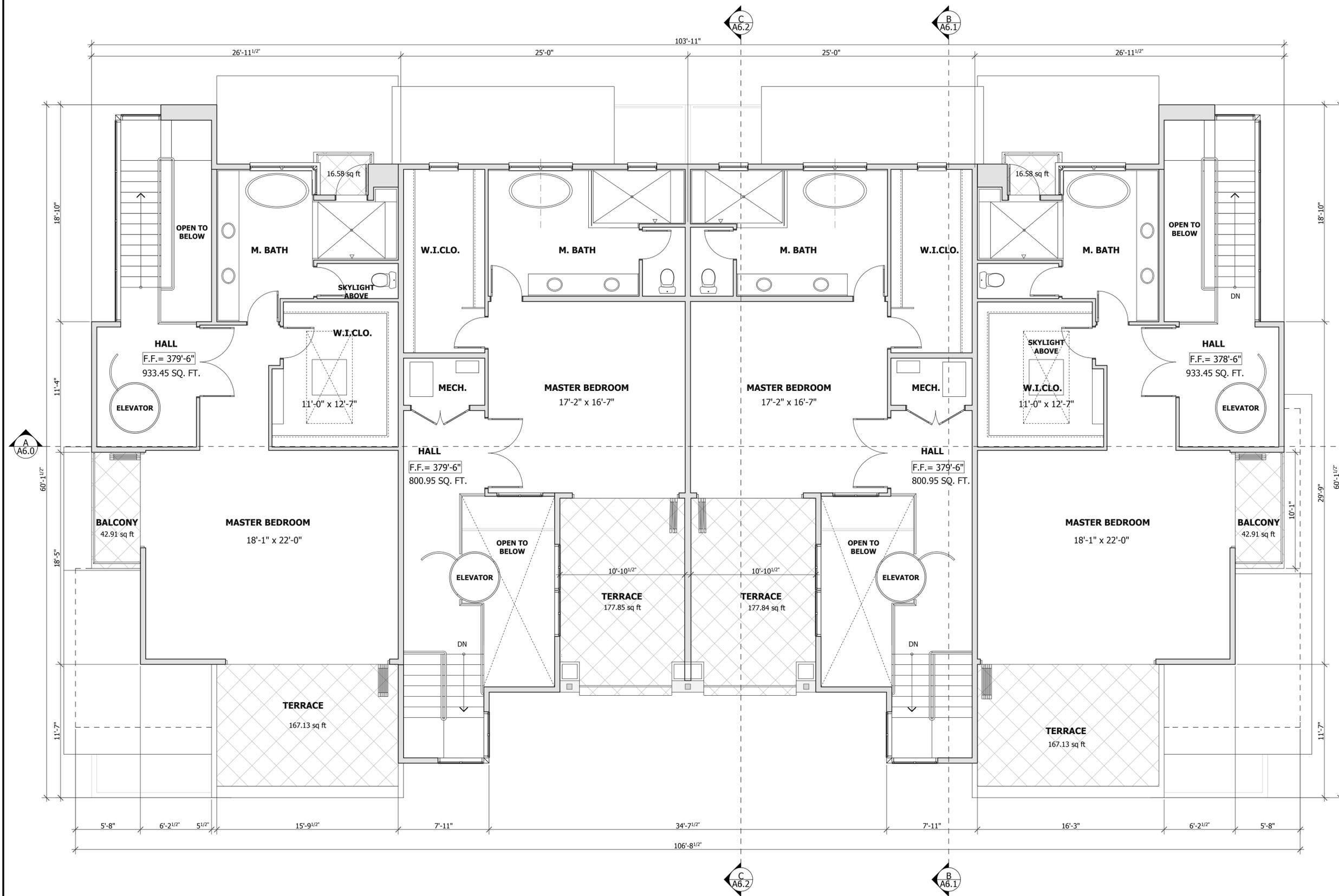
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-3.3





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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**PROPOSED
ROOF PLAN**

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

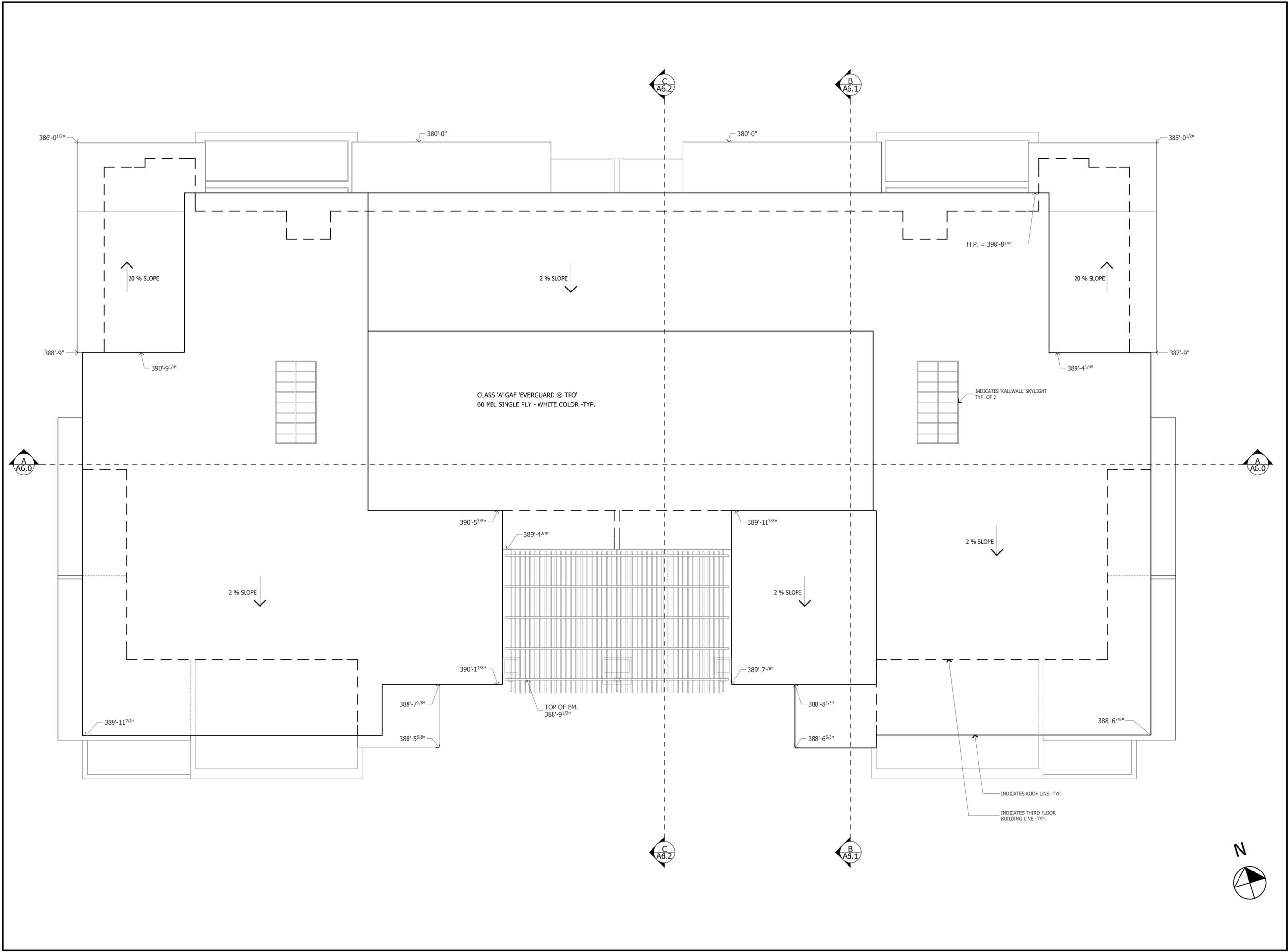
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-4.0





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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**PROPOSED
EXTERIOR
ELEVATIONS**

FRONT ELEVATION, SOUTH

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-5.0

EXTERIOR FINISHES

- 1] ROOF: CLASS 'A' GAF 'EVERGUARD @ TPO' 60 MIL SINGLE PLY - MANSARD COLOR
- 2] ROOF FASCIA, EAVE SOFFIT, TRIMS: CUSTOM 24 GA. PRE-PAINTED 'GALVALUME' METAL - DARK BRONZE COLOR
- 3] EXTERIOR WALLS: WOOD SIDING - 8" EXPOSURE MEDIUM BROWN COLOR
- 4] EXTERIOR WALLS: COLOR INTEGRAL STUCCO PLASTER - OFF WHITE COLOR
- 5] EXTERIOR WALLS: COLOR INTEGRAL STUCCO PLASTER - GREY COLOR
- 6] EXTERIOR WALLS: 'KALWALL' - WALL SYSTEM TRANSLUCENT PANELS
- 7] EXTERIOR WALLS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM TRANSLUCENT GLASS
- 8] WINDOWS & EXTERIOR DOORS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 9] ENTRY DOOR: CUSTOM STEEL PIVOT DOOR 'DARK BRONZE' COLOR
- 10] GUARDRAIL: STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS
- 11] DRIVEWAY, WALKWAYS AND PATIOS: POURED IN PLACE CONCRETE LIGHT BROWN COLOR



PROPOSED FRONT ELEVATION: SOUTH

SCALE : 1/4" = 1'-0"



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**PROPOSED
EXTERIOR
ELEVATIONS**

REAR ELEVATION, NORTH

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

SHEET NUMBER

A-5.1

EXTERIOR FINISHES

- 1] ROOF: CLASS 'A' GAF 'EVERGUARD @ TPO' 60 MIL SINGLE PLY - MANSARD COLOR
- 2] ROOF FASCIA, EAVE SOFFIT, TRIMS: CUSTOM 24 GA. PRE-PAINTED 'GALVALUME' METAL - DARK BRONZE COLOR
- 3] EXTERIOR WALLS: WOOD SIDING - 8" EXPOSURE MEDIUM BROWN COLOR
- 4] EXTERIOR WALLS: COLOR INTEGRAL STUCCO PLASTER - OFF WHITE COLOR
- 5] EXTERIOR WALLS: COLOR INTEGRAL STUCCO PLASTER - GREY COLOR
- 6] EXTERIOR WALLS: 'KALWALL' - WALL SYSTEM TRANSLUCENT PANELS
- 7] EXTERIOR WALLS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM TRANSLUCENT GLASS
- 8] WINDOWS & EXTERIOR DOORS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 9] ENTRY DOOR: CUSTOM STEEL PIVOT DOOR 'DARK BRONZE' COLOR
- 10] GUARDRAIL: STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS
- 11] DRIVEWAY, WALKWAYS AND PATIOS: POURED IN PLACE CONCRETE LIGHT BROWN COLOR



PROPOSED REAR ELEVATION: NORTH

SCALE : 1/4" = 1'-0"



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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

**PROPOSED
EXTERIOR
ELEVATIONS**

SIDE ELEVATION: WEST
SIDE ELEVATION: EAST

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

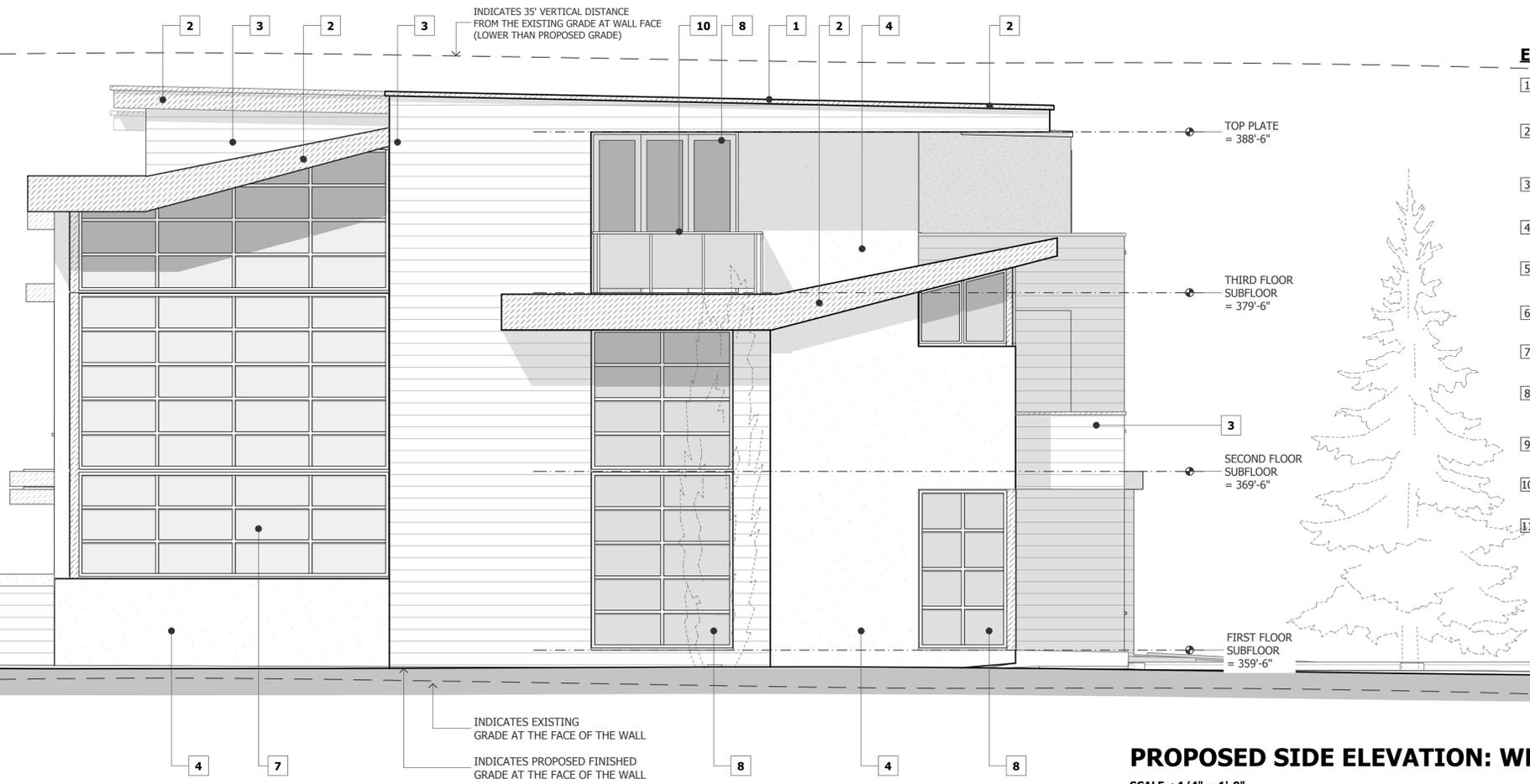
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

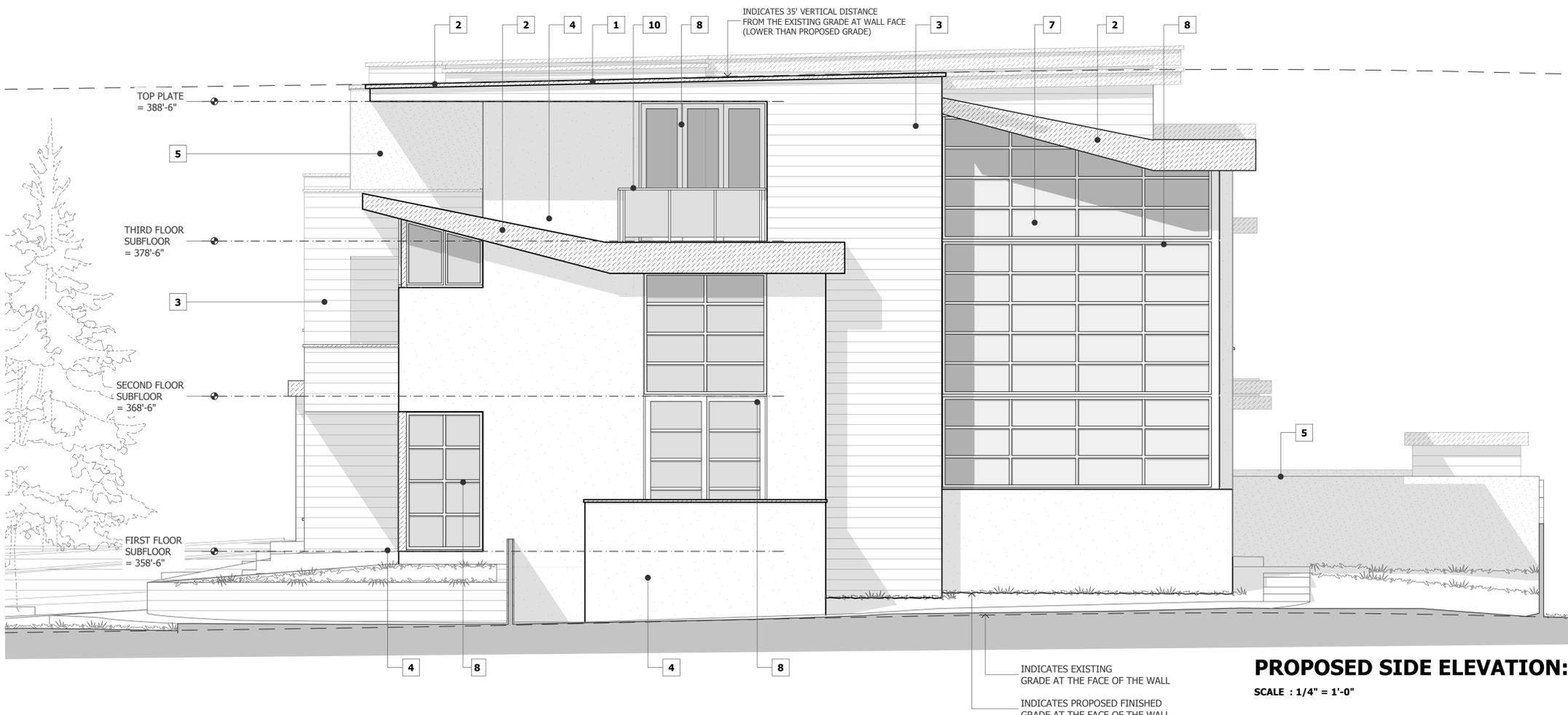
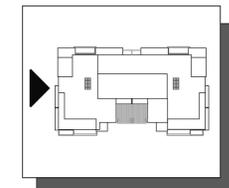
SHEET NUMBER

A-5.2



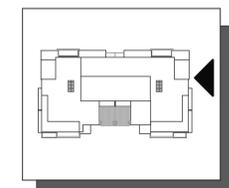
PROPOSED SIDE ELEVATION: WEST

SCALE : 1/4" = 1'-0"



PROPOSED SIDE ELEVATION: EAST

SCALE : 1/4" = 1'-0"





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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

PROPOSED SECTIONS

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

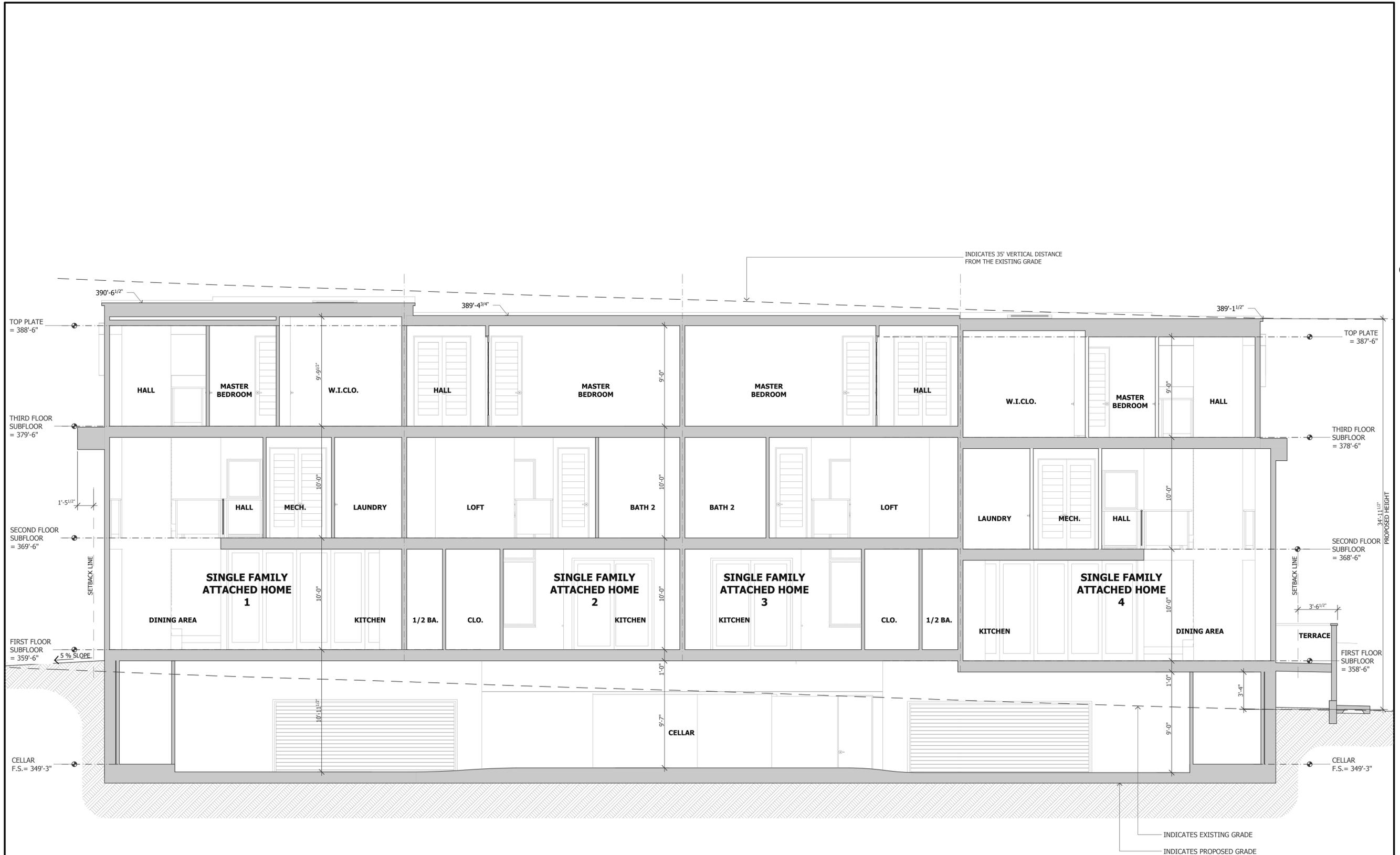
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

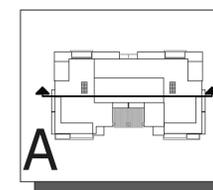
SHEET NUMBER

A-6.0



SECTION A-A

SCALE : 1/4" = 1'-0"





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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

PROPOSED
SECTIONS

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

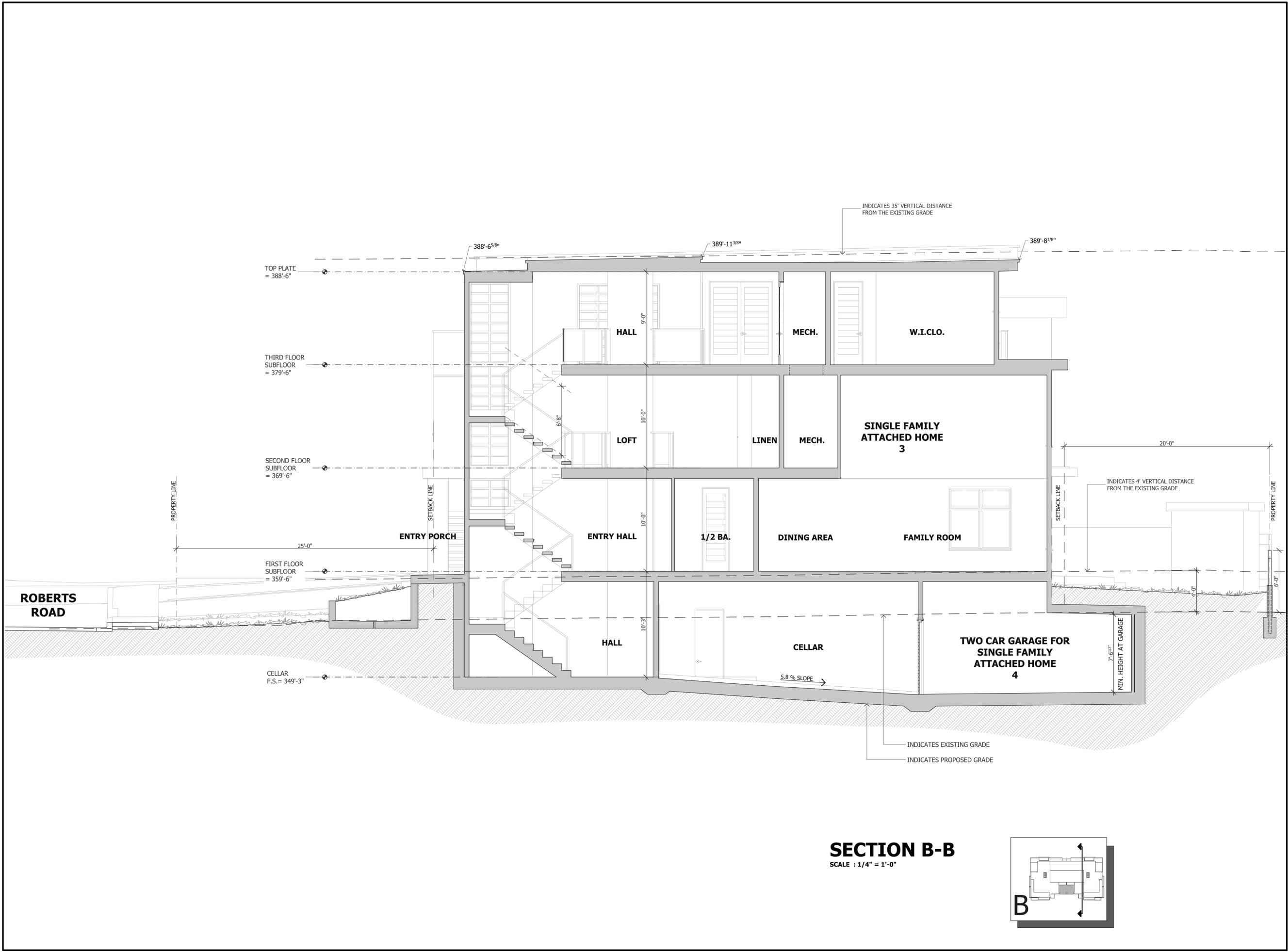
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

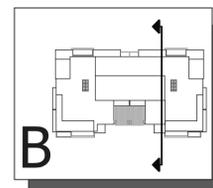
SHEET NUMBER

A-6.1



SECTION B-B

SCALE : 1/4" = 1'-0"





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PROJECT NAME

**LOS GATOS
CREEKSIDE ESTATES**

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

PROPOSED
SECTIONS

DATE : 11-28-16

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

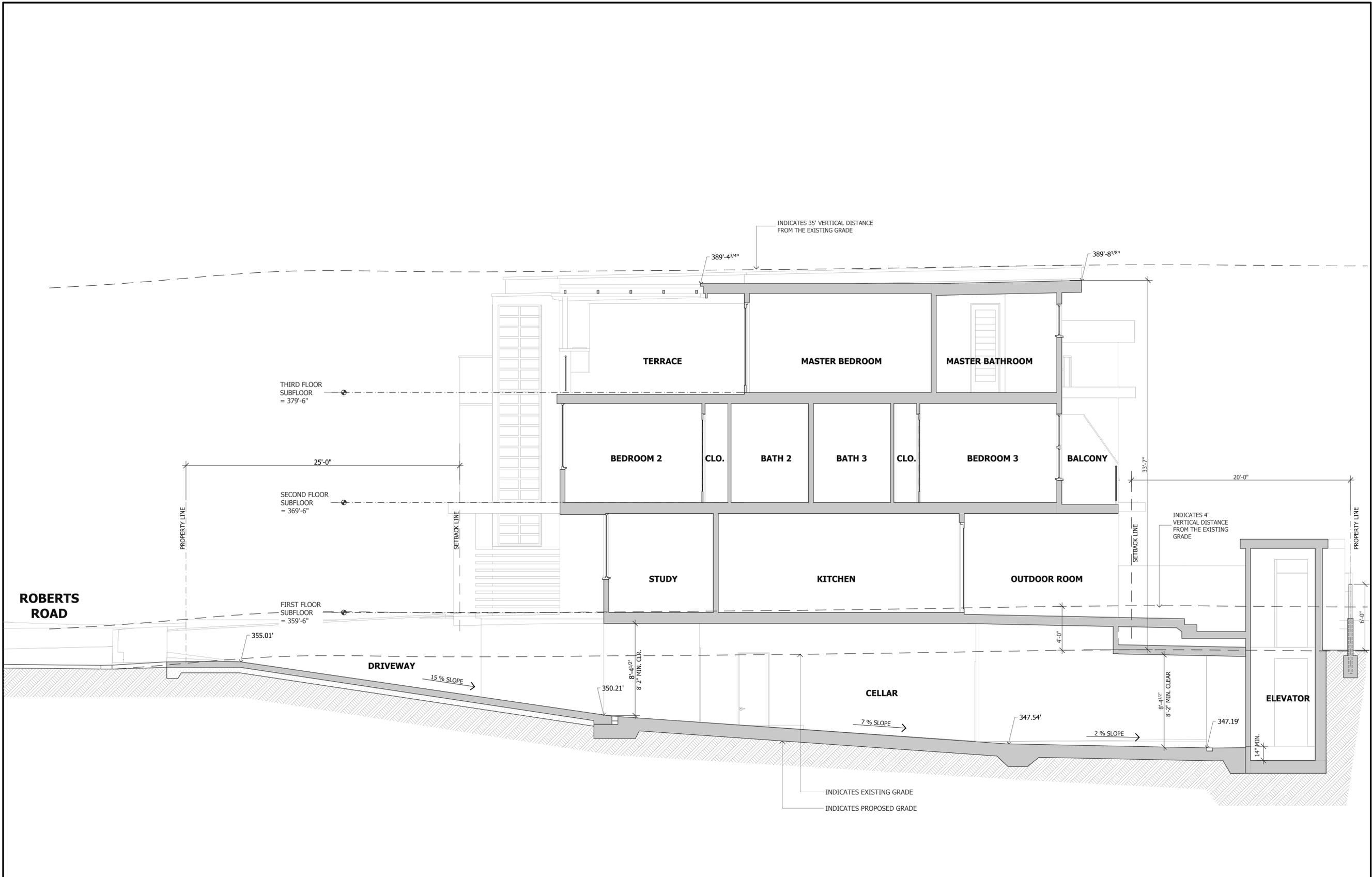
CHECKED BY : TS

ARCHITECT : TOM SLOAN

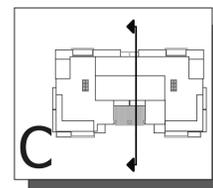
PROJECT NO : 16616

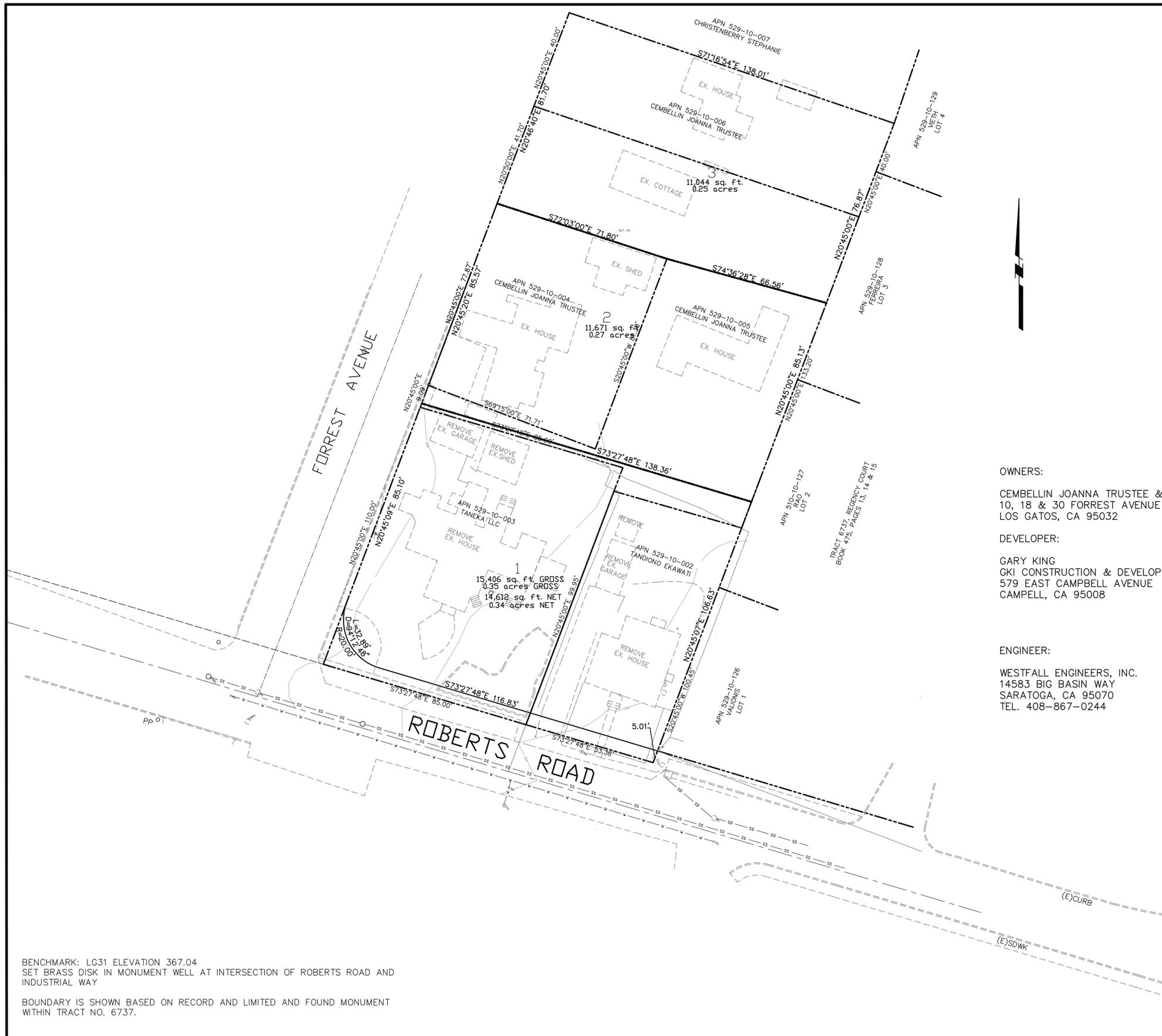
SHEET NUMBER

A-6.2



SECTION C-C
SCALE : 1/4" = 1'-0"





VICINITY MAP

OWNERS:

CEMBELLIN JOANNA TRUSTEE & ET AL
10, 18 & 30 FORREST AVENUE
LOS GATOS, CA 95032

DEVELOPER:

GARY KING
GKI CONSTRUCTION & DEVELOPMENT
579 EAST CAMPBELL AVENUE
CAMPELL, CA 95008

ENGINEER:

WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY
SARATOGA, CA 95070
TEL. 408-867-0244

LEGEND:

ORIGINAL PROPERTY LINE
(PER RECORDED MAP OR DEED)



EXISTING STRUCTURES AND IMPROVEMENTS



PROPOSED PROPERTY LINE
(AFTER LOT LINE ADJUSTMENT)



BENCHMARK: LG31 ELEVATION 367.04
SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY

BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

NO.	BY	DATE	REVISION	BY	DATE	DATE: SEPTEMBER 2016
						SCALE: HOR. 1"=40' VERT.
						DESIGNED: JC
						CHECKED: KC
						PROJ. ENGR: HB

BY: KAREL CYMBAL, RCE 34534
DATE:



WESTFALL ENGINEERS, INC.

14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

TENTATIVE MAP
FOR LOT LINE ADJUSTMENT

APN 529-10--002, 003, 004, 005 & 006 LOS GATOS, CA

JOB NO.
2016-008

SHEET
1
OF
1



LEGEND

LEGEND

EXISTING	PROPOSED

EARTHWORK QUANTITIES (C.Y.)

BUILDING	2482	0
DRIVEWAY	95	41
LANDSCAPE AREA/PATIO	7	78
TOTAL	2584	119
IMPORT		0
EXPORT	2465	

SURFACES (S.F.)

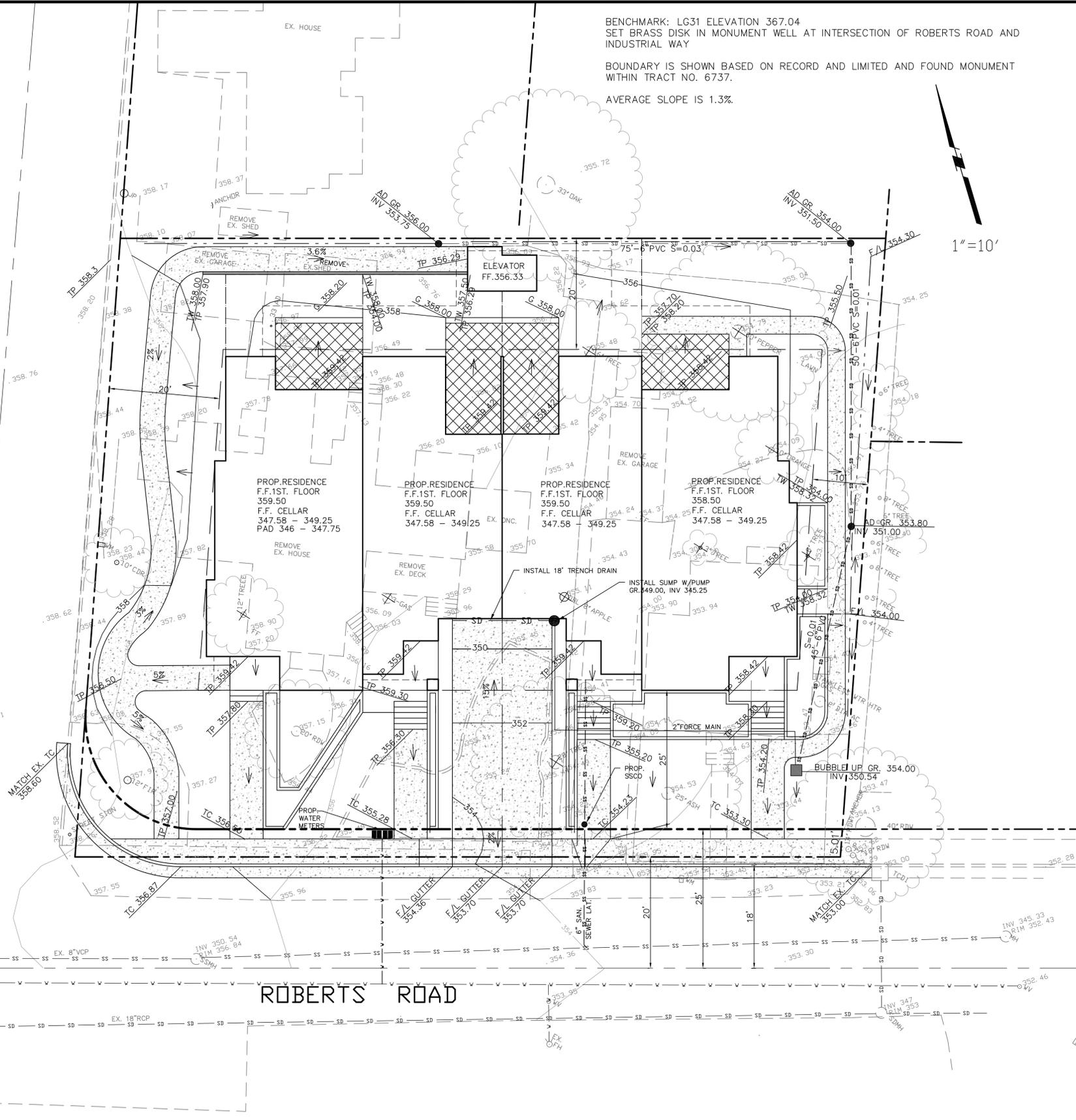
DESCRIPTION	EXISTING	PROPOSED
BUILDINGS	3192	6998
DRIVEWAY AC	995	706
PATIOS, WALKS	417	1868
TOTAL IMPERVIOUS SURFACES	4604	9572
LANDSCAPE	10008	5040
TOTAL PERVIOUS SURFACES	10008	5040
TOTAL SITE AREA	14612	14612

BENCHMARK: LG31 ELEVATION 367.04
 SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY
 BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.
 AVERAGE SLOPE IS 1.3%.

1"=10'

FORREST AVENUE

ROBERTS ROAD



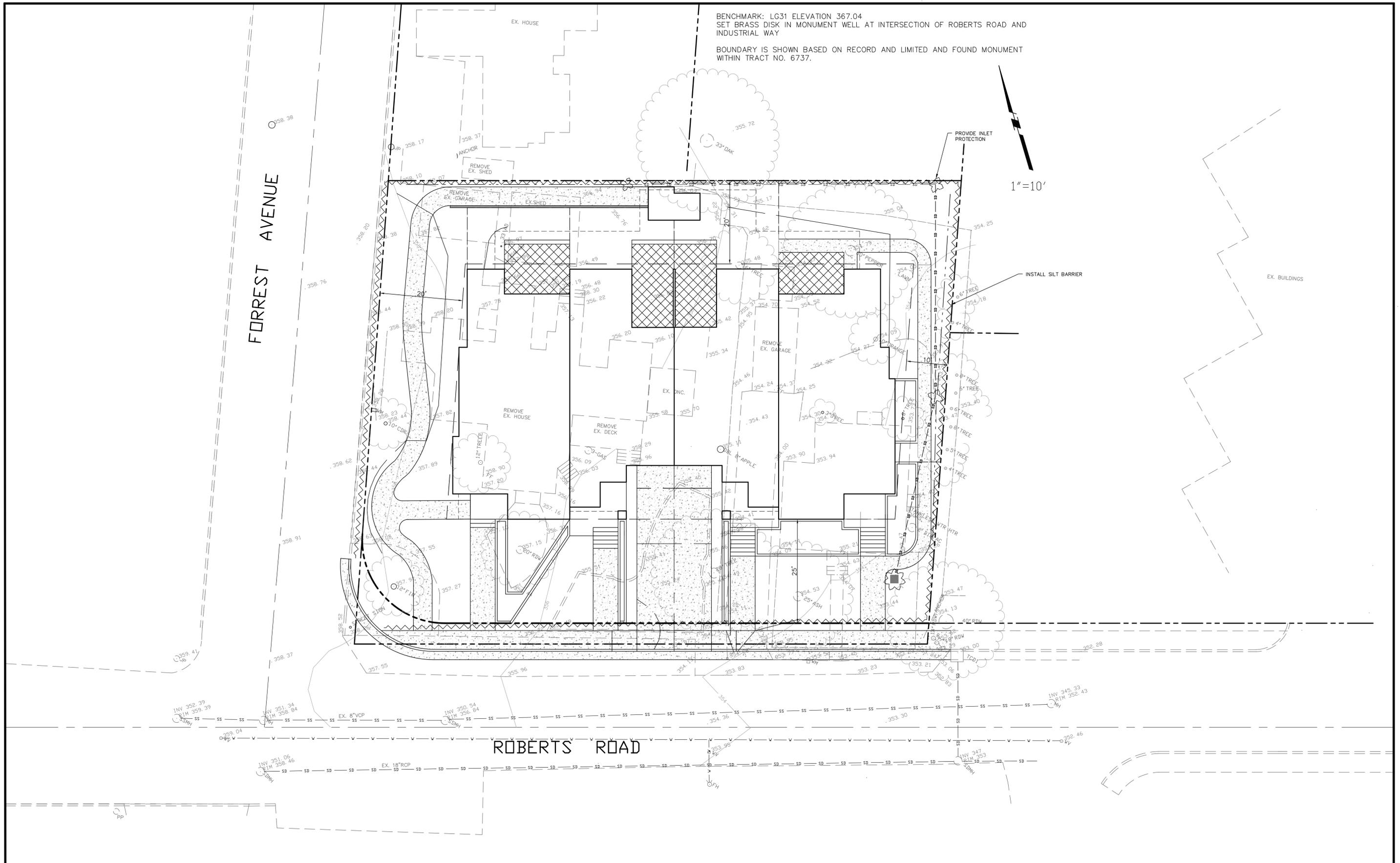
NO.	BY	DATE	REVISION	BY	DATE	DATE: NOVEMBER 2016
						SCALE: HOR. 1"=10' VERT.
						DESIGNED: JC
						CHECKED: KC
						PROJ. ENGR: JC

BY: KAREL CYMBAL, RCE 34534
 DATE: _____

WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

PRELIMINARY GRADING AND DRAINAGE PLAN
LOS GATOS CREEKSIDE ESTATES
 30 ROBERTS ROAD & 6 FORREST AVENUE
 LOS GATOS, CALIFORNIA

JOB NO. 2016-008
SHEET C1
OF 3



BENCHMARK: LG31 ELEVATION 367.04
 SET BRASS DISK IN MONUMENT WELL AT INTERSECTION OF ROBERTS ROAD AND INDUSTRIAL WAY

BOUNDARY IS SHOWN BASED ON RECORD AND LIMITED AND FOUND MONUMENT WITHIN TRACT NO. 6737.

1"=10'

FORREST AVENUE

ROBERTS ROAD

NO.	BY	DATE	REVISION	BY	DATE	DATE: NOVEMBER 2016
						SCALE: HDR. 1"=10' VERT.
						DESIGNED: JC
						CHECKED: KC
						PRJ. ENGR: JC

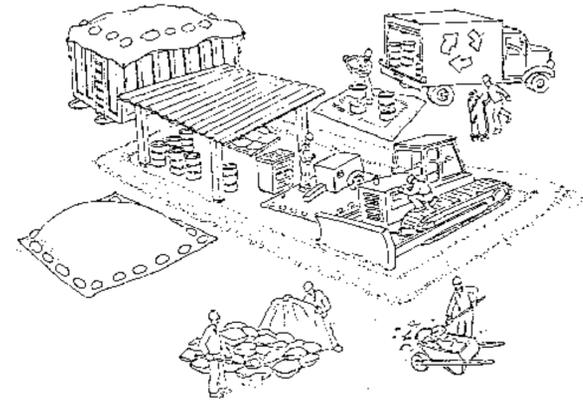
BY: KAREL CYMBAL, RCE 34534
 DATE:

 WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

EROSION CONTROL PLAN
LOS GATOS CREEKSIDE ESTATES
 30 ROBERTS ROAD & 6 FORREST AVENUE
 LOS GATOS, CALIFORNIA

JOB NO. 2016-008
SHEET C2
DF 3

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!



METRO DESIGN GROUP

ARCHITECTURE-PLANNING-INTERIORS

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(408)871-1072 fax
www.metroarchitects.com

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PROJECT NAME

LOS GATOS CREEKSIDE ESTATES

30 ROBERTS ROAD &
6 FORREST AVENUE
LOS GATOS, CA 95032

REVISIONS

NO.	DESCRIPTION

LANDSCAPE PLAN

DATE : 11-28-16

SCALE : 1/8" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16616

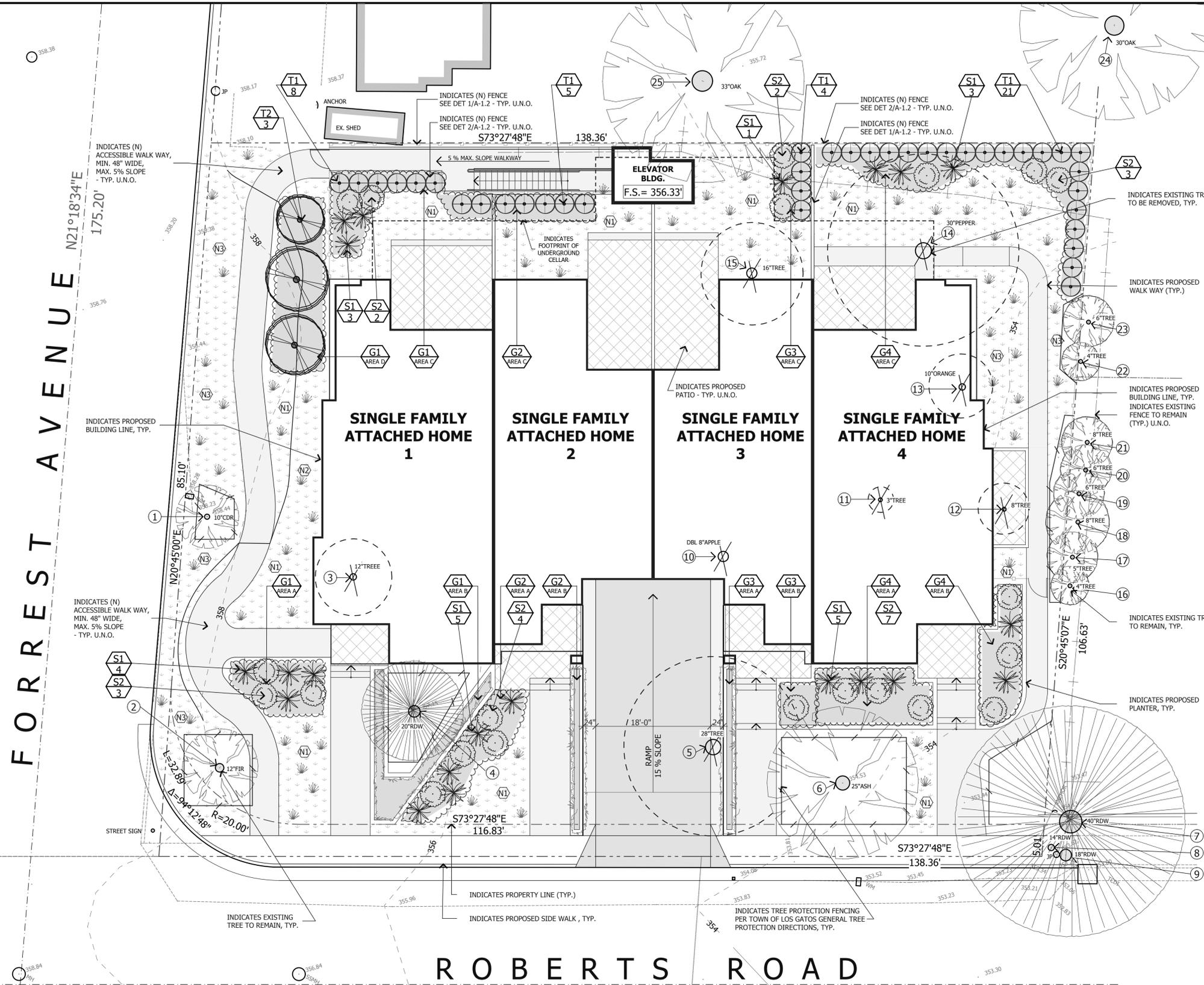
SHEET NUMBER

L-1.0

EXISTING TREE LEGEND			
TREE NO.	TREE NAME	TREE SIZE	STATUS
1	CEDAR	10"	TO REMAIN
2	FIR	12"	TO REMAIN
3	TREE	12"	TO BE REMOVED
4	REDWOOD	20"	TO REMAIN
5	TREE	28"	TO BE REMOVED
6	ASH	25"	TO REMAIN
7	REDWOOD	40"	TO REMAIN
8	REDWOOD	14"	TO REMAIN
9	REDWOOD	18"	TO REMAIN
10	APPLE	8", 8"	TO BE REMOVED
11	TREE	3"	TO BE REMOVED
12	TREE	8"	TO BE REMOVED
13	CITRUS	10"	TO BE REMOVED
14	PEPPER	30"	TO BE REMOVED
15	TREE	16"	TO BE REMOVED
16	TREE	4"	TO REMAIN
17	TREE	5"	TO REMAIN
18	TREE	8"	TO REMAIN
19	TREE	6"	TO REMAIN
20	TREE	6"	TO REMAIN
21	TREE	8"	TO REMAIN
22	TREE	4"	TO REMAIN
23	TREE	6"	TO REMAIN
24	COAST LIVE OAK	30"	TO REMAIN
25	COAST LIVE OAK	33"	TO REMAIN

PLANT LEGEND					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY	IRRIGATION
DROUGHT TOLERANT SHRUBS / GRASSES					
S1	LAVANDULA ANGUSTIFOLIA	LAVENDER	1 GAL	21	MAXIMUM 500 SQ. FT. OF IRRIGATED AREA
S2	LOMANDRA LONGIFOLIA	LOMANDRA	1 GAL	21	
GROUNDCOVER					
G	MULCH	-	-	-	SEE TABULATION BELOW
SCREENING TREES / SHRUBS					
T1	CUPRESSUS SEMPERVIRENS 'MONSHEL'	DWARF ITALIAN CYPRESS	24" BOX	38	SEE TABULATION BELOW
T2	LAGERSTROEMIA INDICA	GRAPE MYRTLE	15 GAL	3	
NATIVE DROUGHT TOLERANT GRASSES AND GROUND COVERS					
N1	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	IN FIELD	NON-IRRIGATED AREA
N2	ARTEMISA CALIFORNICA - 'MONTARA'	CALIFORNIA SAGEBRUSH	1 GAL	IN FIELD	NON-IRRIGATED AREA
N3	CEANOTHUS - 'YANKEE POINT'	WILD LILAC	1 GAL	IN FIELD	NON-IRRIGATED AREA
NOTES:					
1. GROUNDCOVER AREAS - DENOTED G1 - MULCH - INDICATES MAXIMUM 500 SQ. FT. OF IRRIGATED AREA					
2. GROUNDCOVER AREAS UNDER EXISTING TREES : NON-IRRIGATED DECORATIVE MULCH					

TABULATION OF IRRIGATED AREAS				
UNIT	G1 AREA	G2 AREA	G3 AREA	G4 AREA
AREA 'A'	100 SQ. FT.	126 SQ. FT.	22 SQ. FT.	138 SQ. FT.
AREA 'B'	74 SQ. FT.	22 SQ. FT.	36 SQ. FT.	99 SQ. FT.
AREA 'C'	130 SQ. FT.	59 SQ. FT.	58 SQ. FT.	253 SQ. FT.
AREA 'D'	192 SQ. FT.	207 SQ. FT.	116 SQ. FT.	490 SQ. FT.
TOTAL	496 SQ. FT.	207 SQ. FT.	116 SQ. FT.	490 SQ. FT.



LEGEND					
PROPERTY LINE	---	PROPOSED RESIDENCES	[Rectangle]	EXISTING TREE TO REMAIN	[Tree Symbol]
(E) GRADE CONTOUR LINE	- - - -	PROPOSED CONCRETE DRIVEWAY	[Shaded Area]	EXISTING TREE TO BE REMOVED	[Tree Symbol]
PROPOSED GRADE CONTOUR LINE	- - - -	PROPOSED PATIOS	[Cross-hatched Area]	TREE PROTECTION FENCING	[Fencing Symbol]
EXISTING FENCE TO BE REMOVED	- + - + -	PROPOSED HARDSCAPE	[Stippled Area]	PROPOSED SHRUBS	[Shrub Symbol]
PROPOSED FENCE	- o - o -			PROPOSED GROUNDCOVER	[Groundcover Symbol]
				-denotes irrigated areas	
				PROPOSED PLANTER	[Planter Symbol]
				-denotes irrigated areas	
				DROUGHT RESISTANT NATIVE GRASSES	[Grass Symbol]
				PROPOSED TREE	[Tree Symbol]
				PROPOSED HEDGES AND SCREENS	[Hedge Symbol]



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